

Central Darling Shire Council

D03/21 PAN 65234

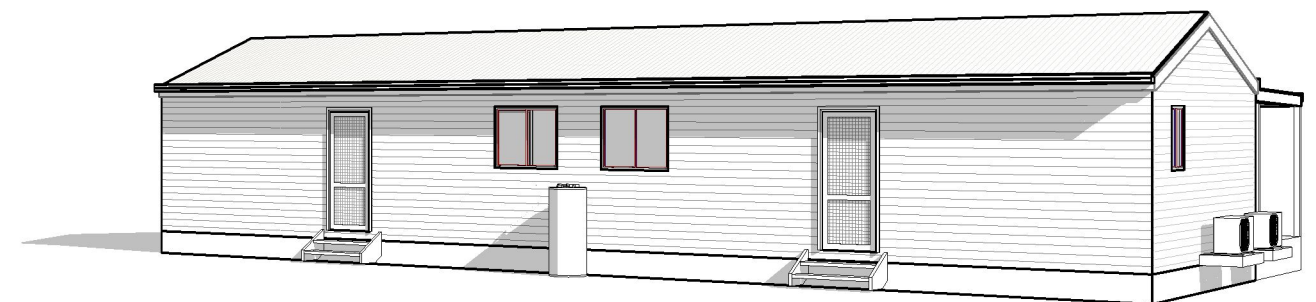
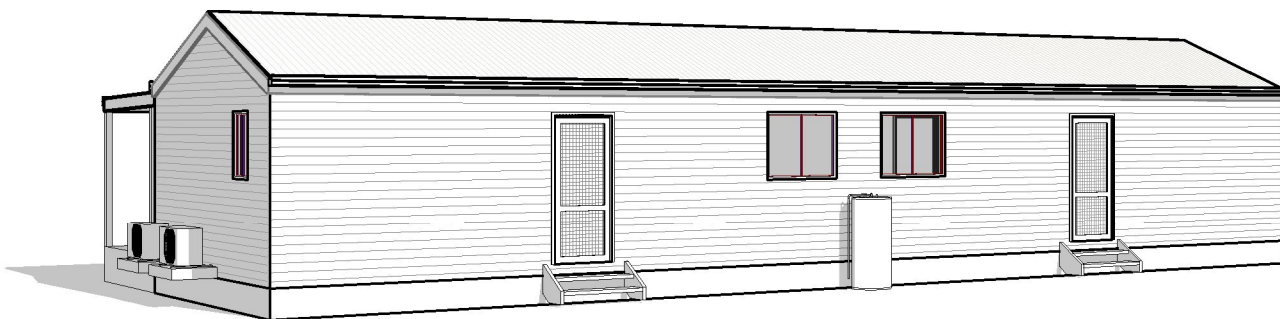
Section 4.16 (1) (a) of the

Environmental Planning and Assessment Act 1979

Approved by Council 2 March 2021

General Manager

# PROPOSED NEW CABIN FOR FAR WEST LOCAL HEALTH DISTRICT



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CLIENT  
**FAR WEST LOCAL HEALTH  
DISTRICT**

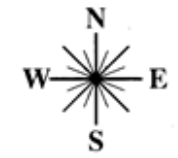
JOB  
**PROPOSED NEW  
RELOCATABLE DWELLING  
LOT 13. DP 759091  
14-16 REID STREET  
WILCANNIA  
NSW 2836**

REV.	DATE	BY	AMENDMENTS

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GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222	
DATE 14/08/20	DRAWN G.J.H.
SCALE	CHECKED G.H.
DETAIL PERSPECTIVE VIEWS	
JOB No. 16-306v5	A3 SHEET No. 1 of 10

**COOLIBAH CABINS**  
Transportable Cabins, Granny Flats & Homes  
90 Calotis Street  
Red Cliffs, Victoria 3496




D03/21 PAN 65234

Environmental Planning and Assessment Act 1979


In use

# FIELD STREET



**COOLIBAH CABINS**  
 Transportable Cabins, Granny Flats & Homes  
 90 Calotis Street  
 Red Cliffs, Victoria 3496

GENERAL NOTES

- 1. All sections of the specification and drawings shall be taken in conjunction and any provisions or clause in any one section shall be taken as referring to all other sections, if such provision and clauses are in anyway applicable.
- 2. Where an item is usual or necessary or is reasonably or properly inferred in the type of work generalised in this specification but not specifically mentioned, it shall be deemed to be included in t specification.
- 3. Check and verify all measurements, dimensions and intent prior construction or fabrication.
- 4. Do not scale drawings.
- 5. Figured dimensions are to take precedence over all.
- 6. All works must comply with the B.C.A. and all relevant by-laws & authorities.
- 7.  Denotes articulation joint to be constructed in accordance v caca technical note 61.
- 8. Overflow relief gully requirements are to comply with A.S. 3500.2 "Sanitary Plumbing & Sanitary Drainage"
- 9. Solid fuel combustion heaters are to be installed in accordance v A.S. 2918-2001. "Domestic Solid Fuel"

WATERPROOFING OF WET AREA

Waterproofing of wet areas being bathrooms, shower rooms, laundrie sanitary compartments and the like shall be provided in accordance ' AS 3740-2010, 'Waterproofing Of Wet Areas Within Residential Buil

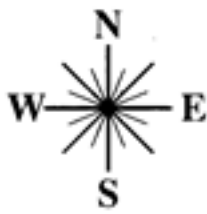
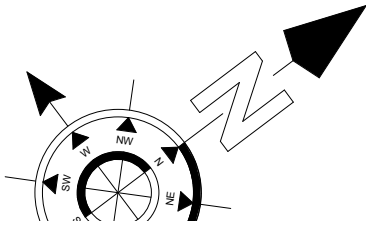
WIND LOADS FOR HOUSING CLAS

REGION	A
TERRAIN CATEGORY	TC 3 (closely spaced obstr
SHIELDING CLASSIFICATION	PS ( partial shielding)
TOPOGRAPHIC CLASSIFICATION	T0 (maximum slope <1:20)

DESIGN GUST WIND SPEED	N1 26m/s Serviceability (Vh,s) 34m/s Ultimate (Vh,u)
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ENERGY EFFICIENCY INFORMATION

ITEM	INSTALL.
Dwelling Roofs and Ceilings	R 3.5 BULK INSULATION
Dwelling External Walls	R 2.0 BULK INSULATION & ANTIGLARE REFLECTIVE FOIL WRAP. RELFECTIVE FOIL WRAP TO COMPLY WITH AS/NZS 4200.1 and MUST BE INSTALLED IN ACCORDANCE WITH AS 4200.2.
Floor	STEEL FRAMED TIMBER FLOOR - UNENCLOSED PERIMETER INSTALL 'FOILBOARD GREEN 15' INSULATION PANELS BETWEEN FLOOR JOISTS SUPPORTED ON CONTINUOUS 25 x 25mm EQ. ANGLE BRACKET AT BTM OF JOISTS. (Total Added R-Value = R.2.05)
Windows & Sliding Doors	ALUMINIUM IMPROVED HORIZONTAL SLIDING WINDOWS.
External Doors	WEATHER STRIPPED.
Exhaust Fans	RANGEHOOD, BATHROOM & ENSUITE EXHAUST FANS TO BE SEALED UNITS DUCTED TO ROOF SPACE.



Central Darling Shire Council

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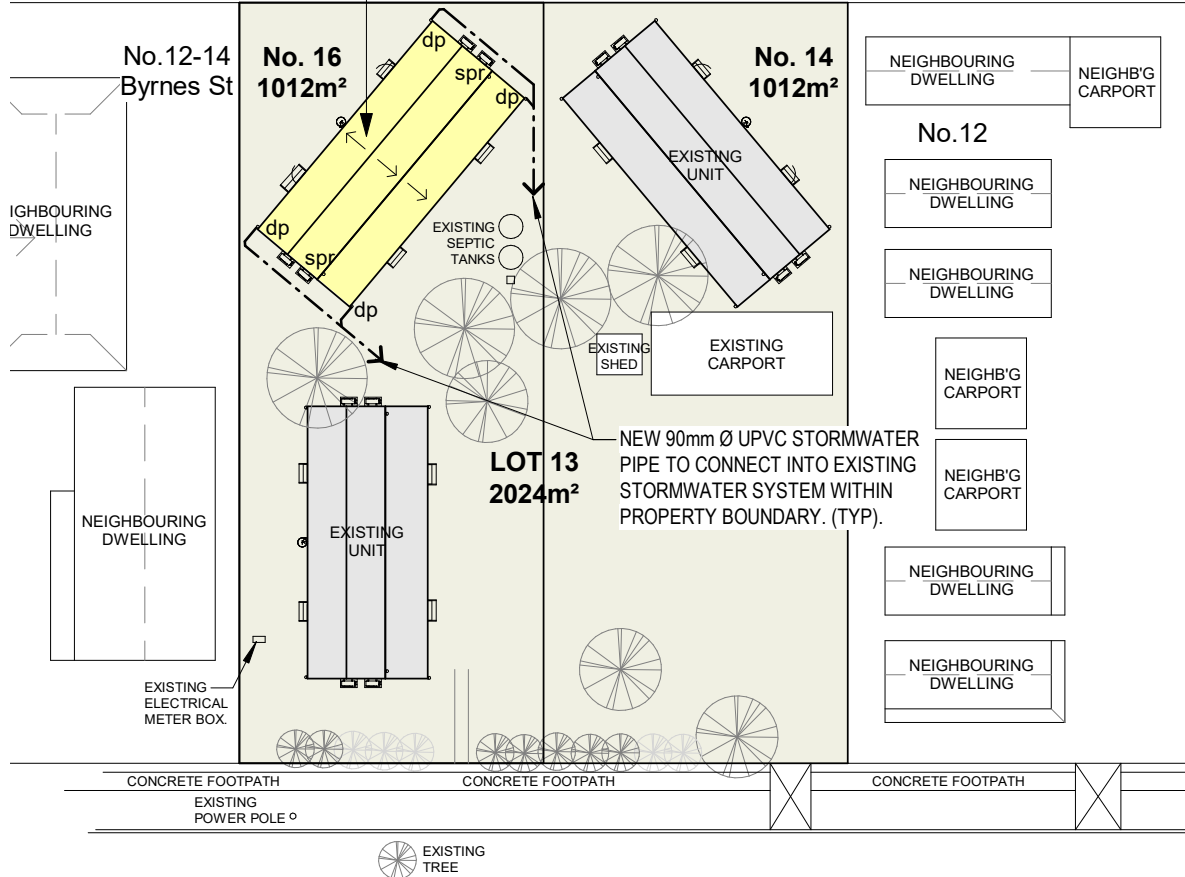
Environmental Planning and Assessment Act 1979

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General Manager

PROPOSED NEW DWELLING

LANEWAY

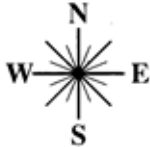


REID STREET

STORMWATER NOTES

90mm DIA. UPVC Stormwater drains from 100 x 50mm downpipes (denoted dp) to connect into existing stormwater system within property boundary as per Councils requirements with inspection openings every 9 meters of run and/or change in direction. (Spr) denotes 100 x 50mm spreader to discharge to lower roof. Overflow relief gully :- A minimum height of 150mm shall be maintains between the top of the overflow relief gully riser and the lowest fixture connected to the drain. Top of Gully riser to be 75mm above natural surface or in paved area high enough to prevent the ingress of water.

PROPOSED STORMWATER LAYOUT PLAN 1



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FAR WEST LOCAL HEALTH DISTRICT

JOB  
PROPOSED NEW RELOCATABLE DWELLING  
LOT 13. DP 759091  
14-16 REID STREET  
WILCANNIA  
NSW 2836

REV.	DATE	BY	AMENDMENTS	CKD.

GREGORY  
BUILDING PRACTITK  
DATE 14/08/20  
SCALE As indicated  
DETAIL PROPOSED S1 LAYOUT PLAN

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JOB No.16-306v5

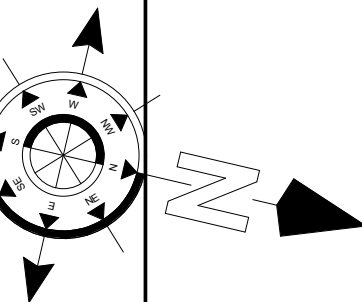
A3

SHEET No. 3 of 10

Red Cliffs, Victoria 3496



Cabin	92.70m <sup>2</sup> ( 9.98 SQS.)
Verandah & Deck	50.40m <sup>2</sup>

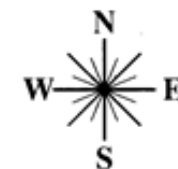


SMOKE ALARMS - INSTALL AC POWERED ALARMS WITH BATTERY BACK-UP AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM IN ACCORDANCE WITH B.C.A. PART 3.7.5.2 - 'SMOKE ALARM'

### DWELLING 1

WINDOW	H x W	U-VALUE	SHGC	DESCRIPTION
W.1, W.2.	1000 x 1210	6.44	0.75	CLEAR GLAZED - HORIZONTAL SLIDING
W.3, W.8.	900 x 610	6.44	0.75	OBSURE GLAZED - HORIZONTAL SLIDING
W.4, W.5, W.6, W.7.	1500 x 1450	6.44	0.75	CLEAR GLAZED - HORIZONTAL SLIDING

- : ALL NEW WINDOWS TO BE FRAMED USING DOMESTIC ALUMINIUM IMPROVED SECTION.
- : SINGLE GLAZED SASHS WITH INSECT SCREENS TO ALL OPENING SASHS AS NOTED.
- : WINDOW GLAZING LESS THAN 500mm ABOVE FINISHED FLOOR LEVEL TO BE either : -  
GRADE A SAFETY GLASS or 5mm NOMINAL THICKNESS ORDINARY ANNEALED GLASS  
PROVIDED THAT THE AREA OF THE GLAZING PANEL IS NOT MORE THAN 1.2m².
- : ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS AND THE LIKE, INCLUDING SHOWER  
DOORS & SCREENS LESS THAN 2.0m ABOVE F.F.L. or THE BOTTOM OF THE BATH MUST -  
(i) for framed panels, be glazed with -  
(A) GRADE A SAFETY GLASS IN ACCORDANCE WITH TABLE 3.6.5 of the NCC 2016.  
(B) GRADE B SAFETY GLASS IN ACCORDANCE WITH TABLE 3.6.5 of the NCC 2016.  
(ii) for panels or doors with any edge exposed,  
BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH TABLE 3.6.6 of the NCC 2016 WITH  
A NOMINAL THICKNESS OF 6mm.
- : SLIDING DOOR GLAZING TO BE GRADE A SAFETY GLASS.
- : ALL GLASS & GLAZING TO COMPLY WITH AS-1288, AS-2208, AS-2047.



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DISTRICT**

**JOB**  
**PROPOSED NEW**  
**RELOCATABLE DWELLING**  
**LOT 13. DP 759091**  
**14-16 REID STREET**  
**WILCANNIA**  
**NSW 2836**

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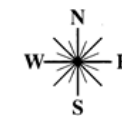
(KD)	GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222		
	DATE <b>14/08/20</b>	DRAWN <b>G.J.H.</b>	
	SCALE <b>1 : 100</b>	CHECKED <b>G.H.</b>	
	DETAIL <b>PROPOSED FLOOR PLAN</b>		
JOB No. <b>16-306v5</b>	<b>A3</b>	SHEET No. <b>4 of 10</b>	



**COOLIBAH CABINS**  
Transportable Cabins, Granny Flats & Homes  
90 Calotis Street  
Red Cliffs, Victoria 3496

**DWELLING 1**

## DWELLING 1



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### DWELLING 1

### DWELLING 1

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**RELOCATABLE DWELLING**  
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**NSW 2836**

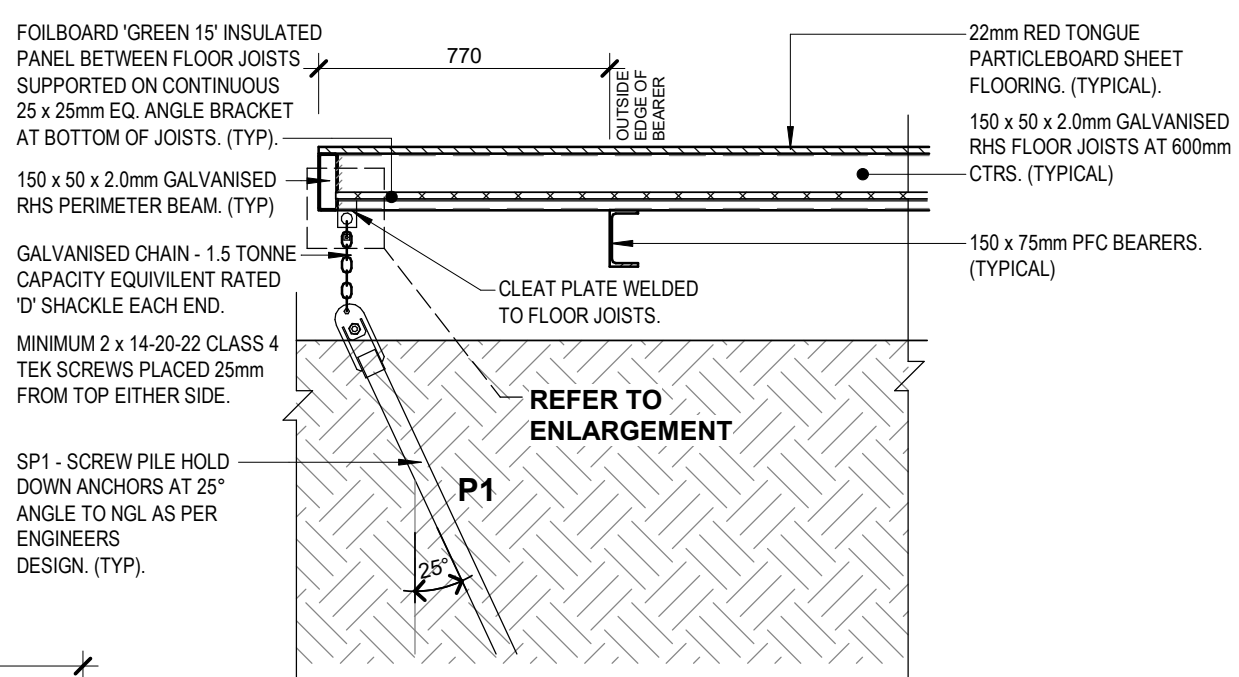
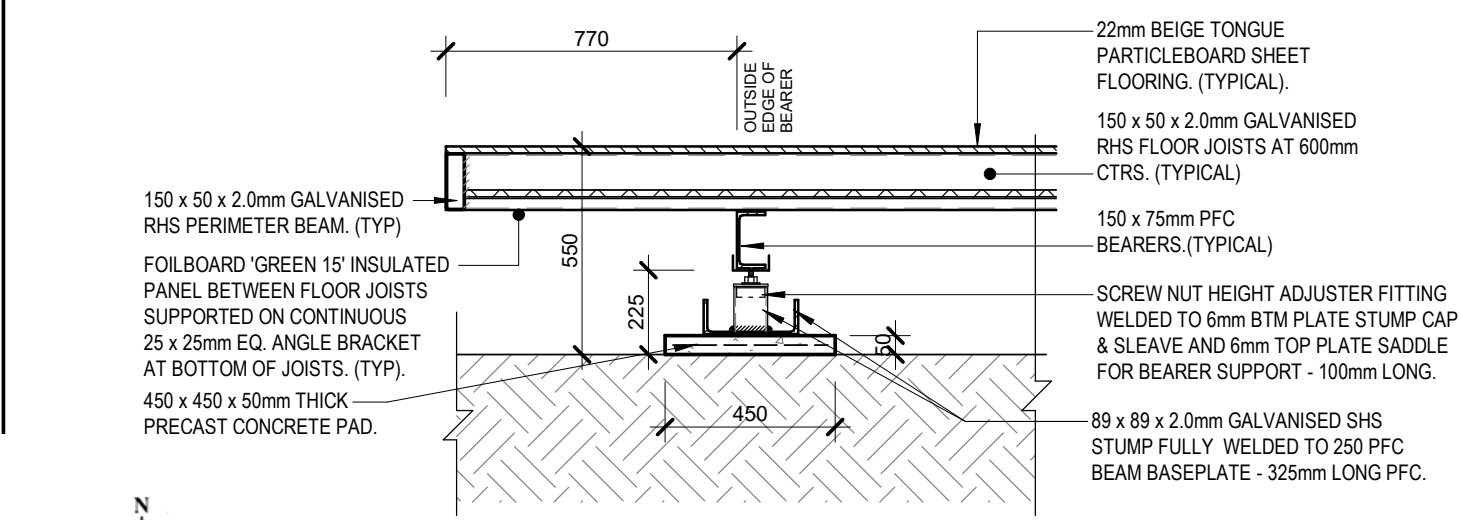
REV.	DATE	BY	AMENDMENTS

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PKD.	GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222		
	DATE	14/08/20	DRAWN G.J.H.
	SCALE	1 : 100	CHECKED G.H.
	DETAIL PROPOSED ELEVATIONS		
	JOB No. 16-306v5	A3	SHEET No. 5 of 10

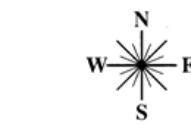


**COOLIBAH CABINS**  
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**90 Calotis Street**  
**Red Cliffs, Victoria 3496**



**Typical Footing / Floor Framing Detail 1:20**

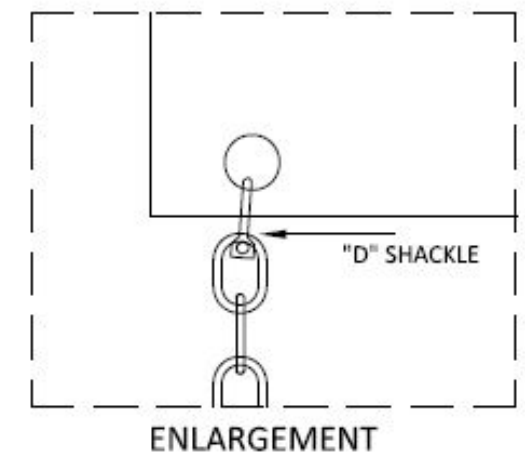
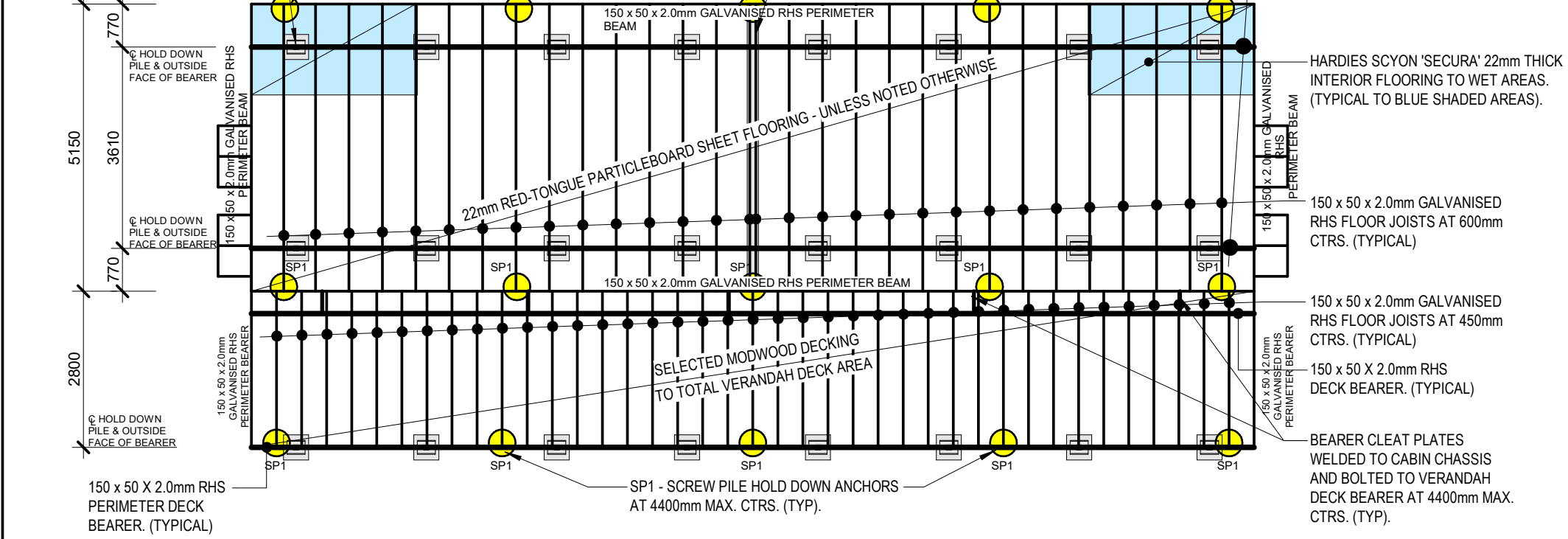
**Hold Down Screw Pile Detail 1:20 (SP1)**



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GALVANISED SHS STUMPS ON  
250 PFC BEAM - 315mm LONG AT  
2200mm MAXIMUM CTRS. (TYP.)




**CONCRETE NOTES:**

1. TREAT ALL SUB-SOILS FOR TERMITES AS PER AUSTRALIAN STANDARDS.
2. MINIMUM ORDERING STRENGTH FOR ALL CONCRETE 25 M.P.a. (FULL STRENGTH AFTER 28 DAYS).
3. CONSULTANT TO CHECK, VERIFY AND APPROVE ACTUAL CONCRETE SLAB LAYOUT BEFORE ANY CONCRETE IS TO BE POURED

**PROPOSED FLOOR FRAMING LAYOUT PLAN. 1:100.**

**DWELLINGS 1 & 2**

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										DATE	14/08/20	DRAWN	G.J.H.
										SCALE	As indicated	CHECKED	G.H.
										DETAIL	PROPOSED FLOOR FRAMING LAYOUT PLAN		
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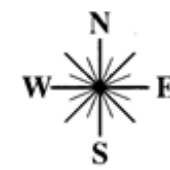
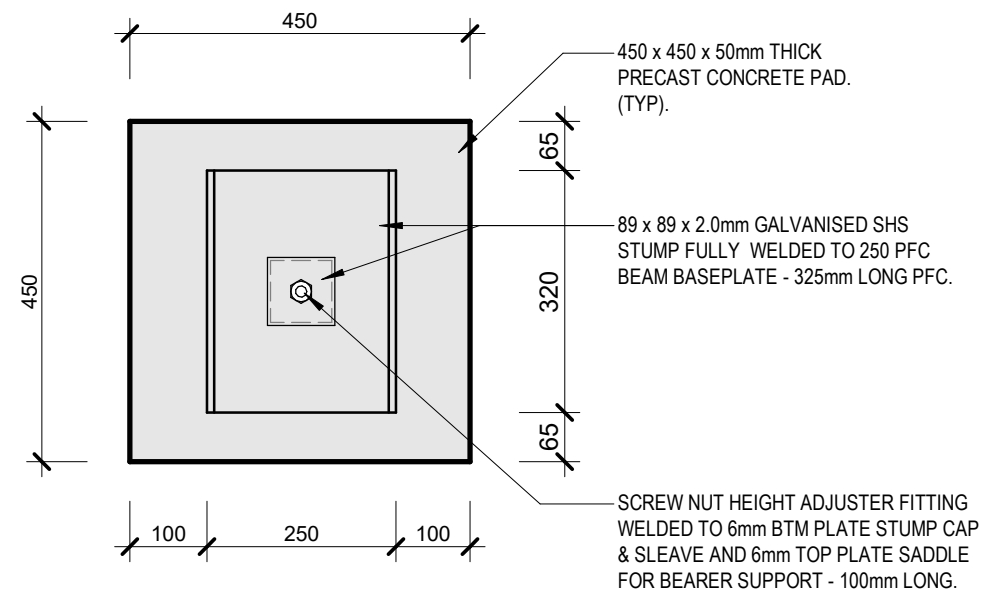
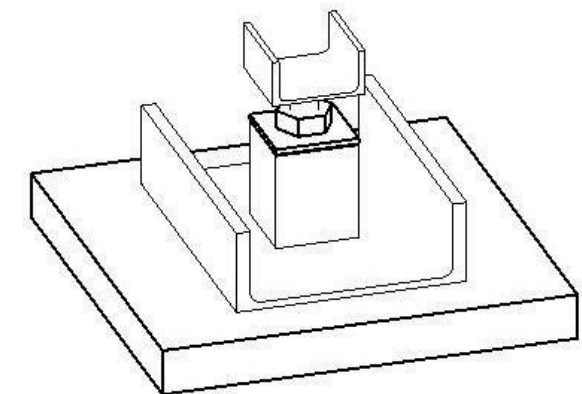
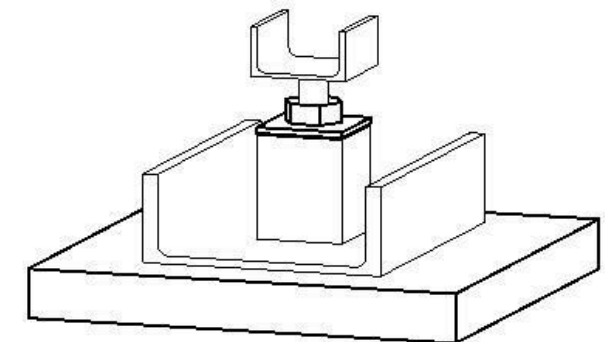
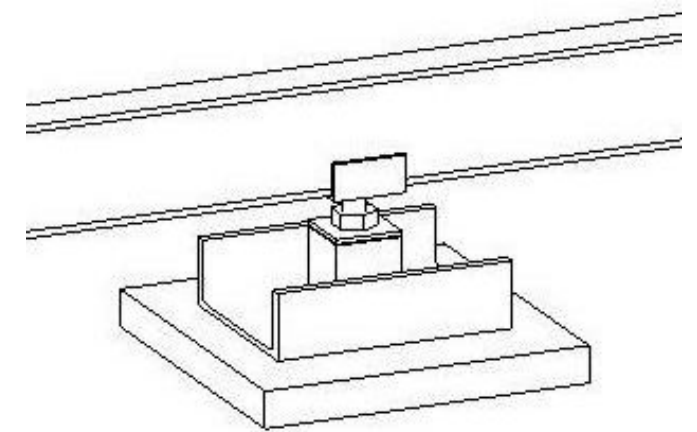
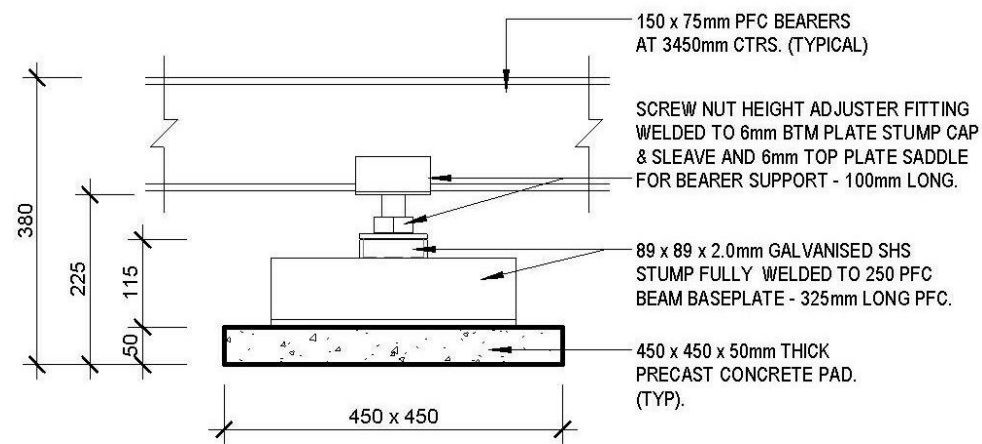
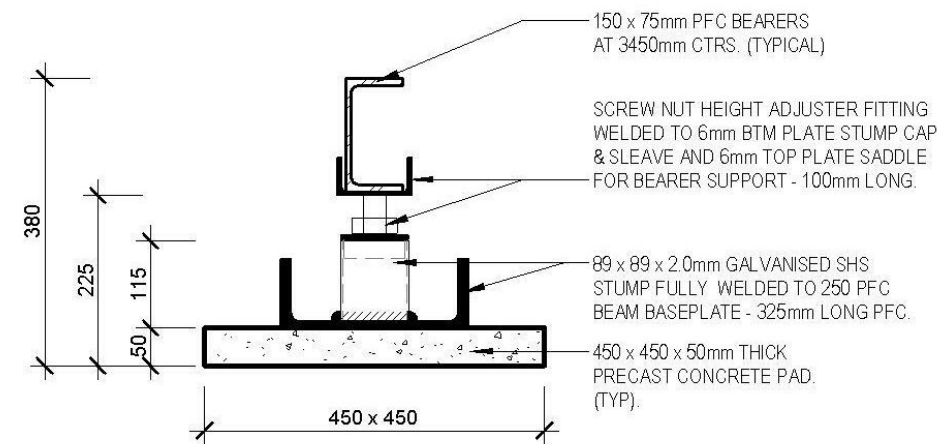
**COOLIBAH CABINS**

Transportable Cabins, Granny Flats & Homes

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Central Darling Shire Council

D03/21 PAN 65234

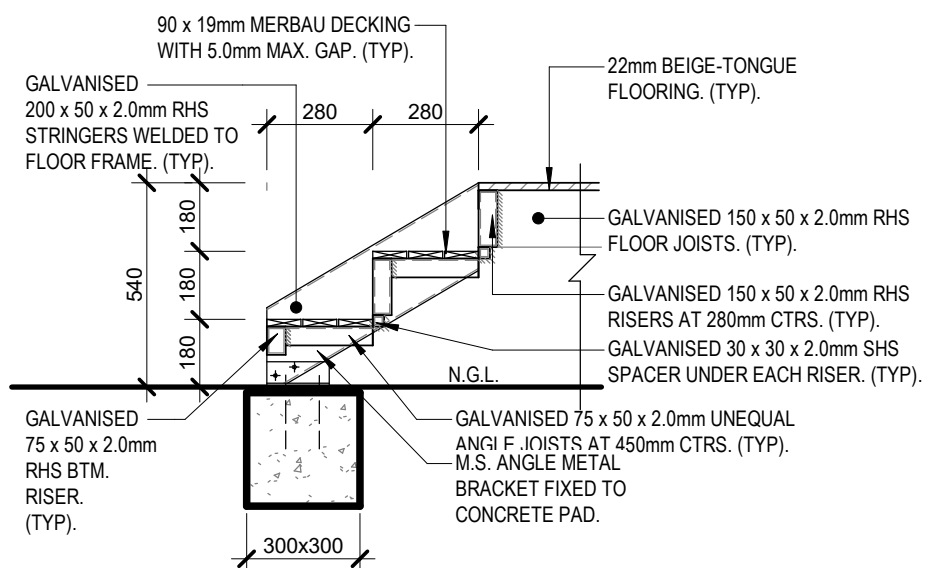
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*[Signature]*

General Manager



**LANDING & STEP NOTES :**  
**ALL LANDING & STEP STRUCTURAL STEEL FRAMING CONNECTIONS ARE TO BE FULLY WELDED.**  
**ALL TIMBER LANDINGS TO HAVE A R10 SLIP RESISTANCE CLASSIFICATION & TIMBER STEPS TO HAVE A R11 SLIP RESISTANCE CLASSIFICATION.**

## SECTION THRU TYPICAL EXTERNAL STEPS 1:20

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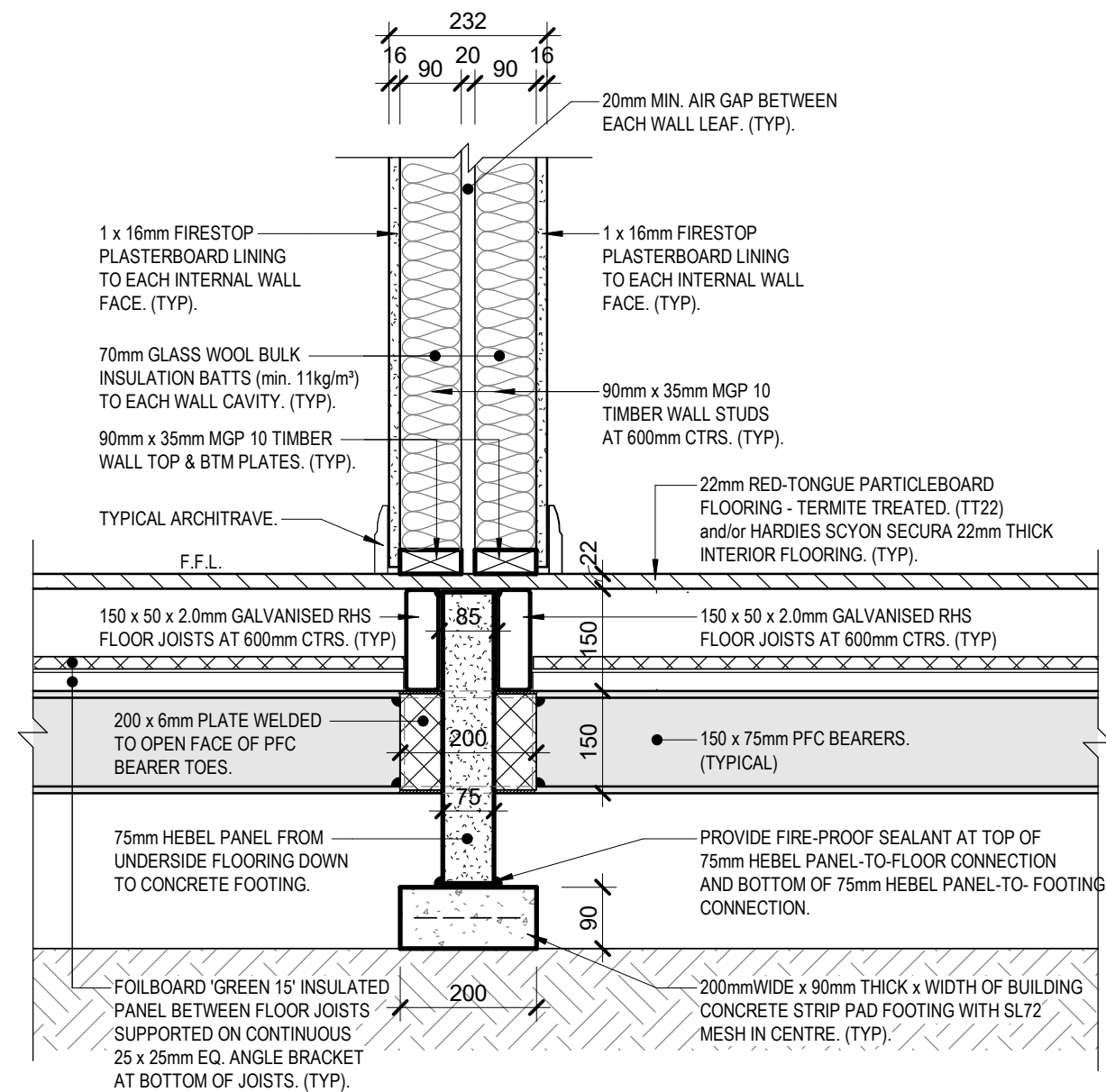
JOB  
**PROPOSED NEW RELOCATABLE DWELLING LOT 13. DP 759091 14-16 REID STREET WILCANNIA NSW 2836**

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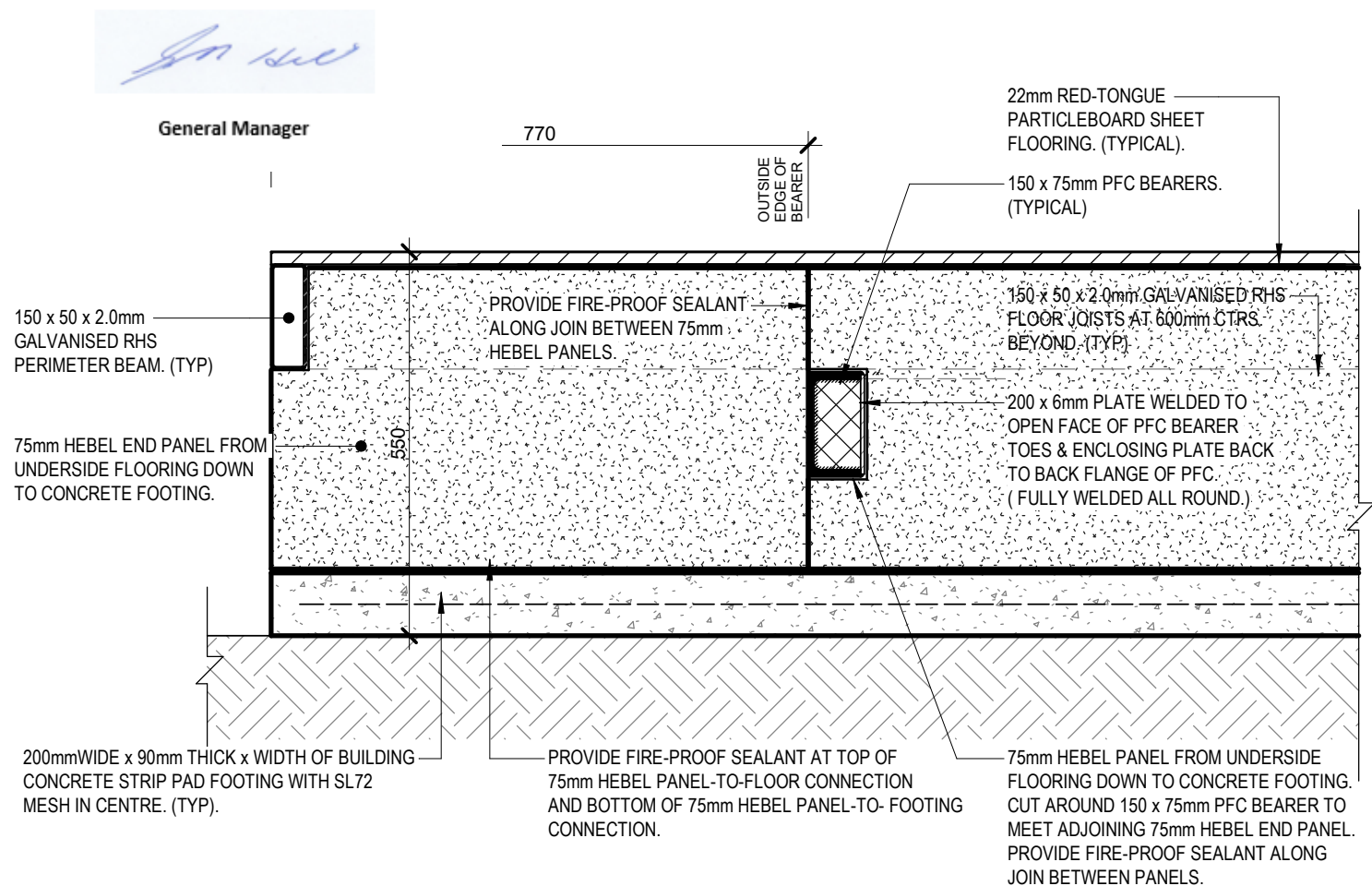
GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222	
DATE 14/08/20	DRAWN G.J.H.
SCALE As indicated	CHECKED G.H.
DETAIL PROPOSED FOOTING DETAILS	
JOB No. 16-306v5	A3 SHEET No. 7 of 10

**COOLIBAH CABINS**  
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**TYPICAL FRL 60/60/60 FIRE RATED  
INTERNAL WALL DETAIL BETWEEN EACH UNIT. 1:10**  
 $R_w = 58.$   $R_w + C_{tr} = 50.$   $\text{Total R Value (m}^2\text{K/W)} = 4.0$

**Central Darling Shire Council**  
 D03/21 PAN 65234  
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**TYPICAL FRL 60/60/60 FIRE RATED  
SUB-FLOOR DETAIL BETWEEN EACH UNIT. 1:10**  
 $R_w = 58.$   $R_w + C_{tr} = 50.$   $\text{Total R Value (m}^2\text{K/W)} = 4.0$

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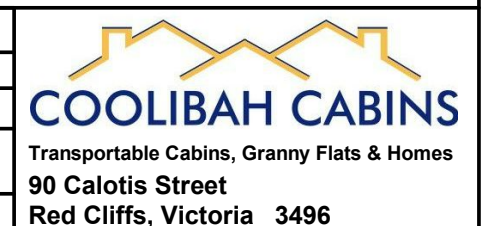
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DATE	14/08/20	DRAWN	G.J.H.
SCALE	1 : 10	CHECKED	G.H.
DETAIL	PROPOSED FIRE RATED WALL DETAIL - FRL 60/60/60		
JOB No.	16-306v5	A3	SHEET No. 8 of 10

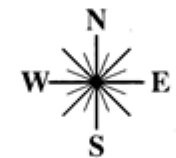
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ELECTRICAL LEGEND

- 20W BATTEN HOLDER
- 20W WALL MOUNTED BATTEN HOLDER
- ⦿ 22W CIRCULAR FLUORESCENT LIGHT
- ⦿ 32W CIRCULAR FLUORESCENT LIGHT
- ⦿ LIGHT SENSOR
- ⊠ EXHAUST FAN & 20W LIGHT
- ⊗ EXHAUST FAN
- ⦿ 3-IN-1 ~TWO HEATER, EXHAUST FAN & 60W LIGHT. (VENT TO ROOF SPACE ONLY).
- ⦿ 3-IN-1 ~FOUR HEATER, EXHAUST FAN & 60W LIGHT. (VENT TO ROOF SPACE ONLY).
- S.A. SMOKE ALARMS - INSTALL AC POWERED ALARMS WITH BATTERY BACK-UP AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM IN ACCORDANCE WITH B.C.A. PART 3.7.2 - 'SMOKE ALARM'
- ⦿ DOUBLE G.P.O. { MOUNTED 300mm ABOVE F.L. UNLESS NOTED OTHERWISE.
- ⦿ SINGLE G.P.O.
- ⦿ DUAL CAT6 OUTLET
- 1.8m ANTENNA & CABLING TO COMMS CABINET (for feed in micro wave link)
- ⊠ 4Ru COMMS CABINET & SWITCHABLE FAN WITH SIDE ACCESS CABINET
- ⦿ TWIN SLIMLINE FLUORESCENT LIGHT AND ACRYLIC DIFFUSER. (2 x 28W)
- ⦿ SINGLE SLIMLINE FLUORESCENT LIGHT AND ACRYLIC DIFFUSER. (1 x 28W)
- 15W LED DOWN LIGHT.
- X ELECTRICAL LIGHT SWITCH.
- ELECTRICAL WIRING.
- hws HOT WATER UNIT.
- M.H. MAN HOLE. (600 x 600).
- ▽ EXTERNAL FLOODLIGHT.
- ⦿ T.V. COAXIAL OUTLET.
- ⦿ TELEPHONE OUTLET.
- ⦿ DATA OUTLET.
- ⦿ CEILING FAN WITH 24W LED LIGHT.
- ⦿ CEILING FAN.
- ⦿ ELECTRICAL SWITCHBOARD



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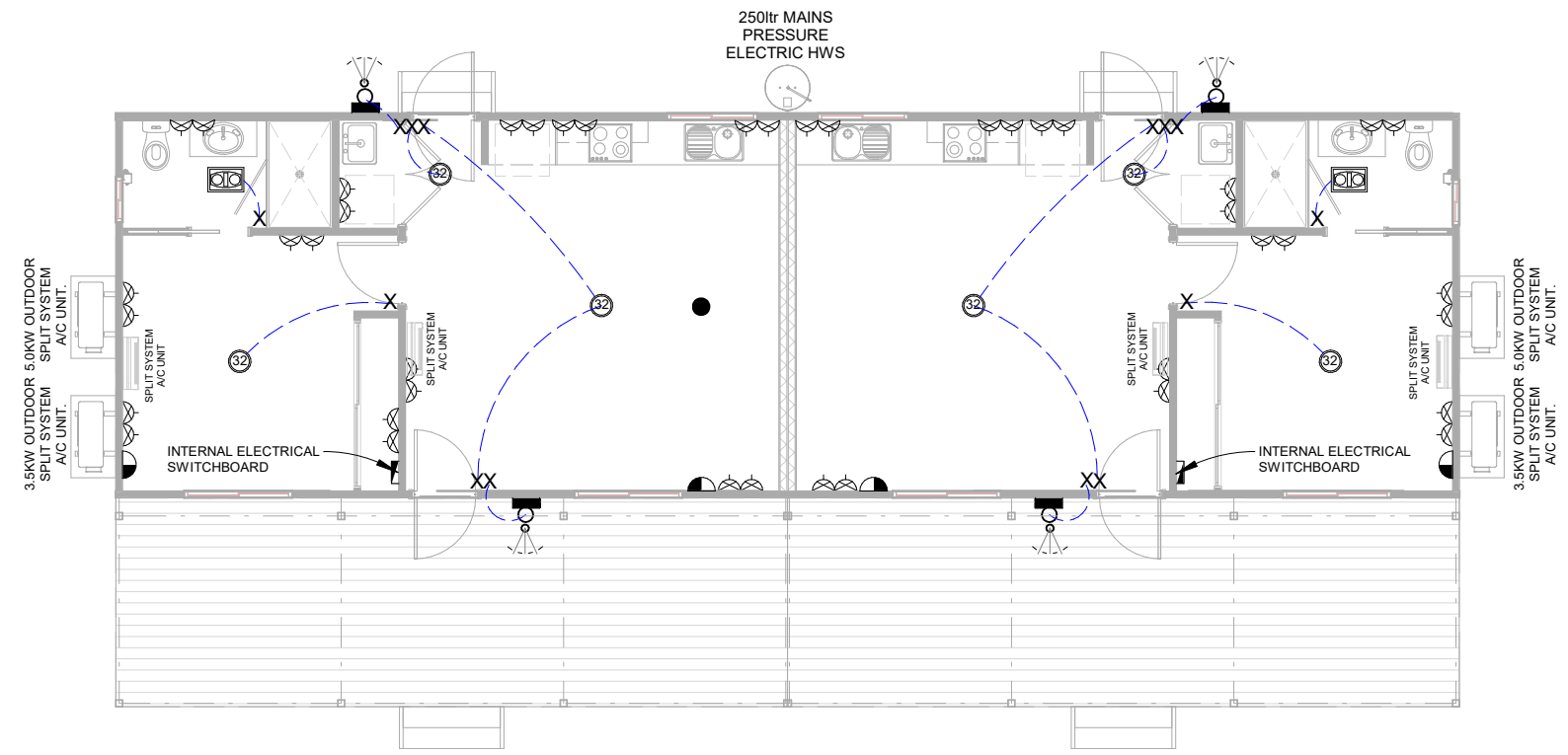
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*[Signature]*

General Manager



**NOTE :**  
1. ALL CABLING TO BE CAT 6A SHIELDED.  
2. PATCH PANEL = 2 PORT.

**PROPOSED ELECTRICAL LAYOUT PLAN 1:100**  
**DWELLING 1**

<p>THESE ARE THE PLANS REFERRED TO IN THE SPECIFICATION AND CONTRACT SIGNED :</p> <p>OWNERS .....</p> <p>.....</p> <p>BUILDER .....</p>		<p>This drawing remains the property of <b>Coolibah Cabins</b> and is approved for the use as described and may not be used or reproduced in whole or part without written permission</p>	<p>CLIENT <b>FAR WEST LOCAL HEALTH DISTRICT</b></p>	<p>JOB <b>PROPOSED NEW RELOCATABLE DWELLING LOT 13. DP 759091</b></p> <p><b>14-16 REID STREET WILCANNIA NSW 2836</b></p>	REV.	DATE	BY	AMENDMENTS	CKD.	<p>GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222</p>			 <p><b>COOLIBAH CABINS</b></p> <p>Transportable Cabins, Granny Flats &amp; Homes</p> <p>90 Calotis Street</p> <p>Red Cliffs, Victoria 3496</p>	
										DATE	14/08/20	DRAWN		G.J.H.
										SCALE	1 : 100	CHECKED		G.H.
										DETAIL	PROPOSED ELECTRICAL LAYOUT PLAN			
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