

**BAL 12.5 CONSTRUCTION**

Colorbond good neighbour fencing by Master Building Group

**FINAL PLANS**

CLIENT: \_\_\_\_\_  
DATE: \_\_\_\_\_

**allsteel**  
transportable homes

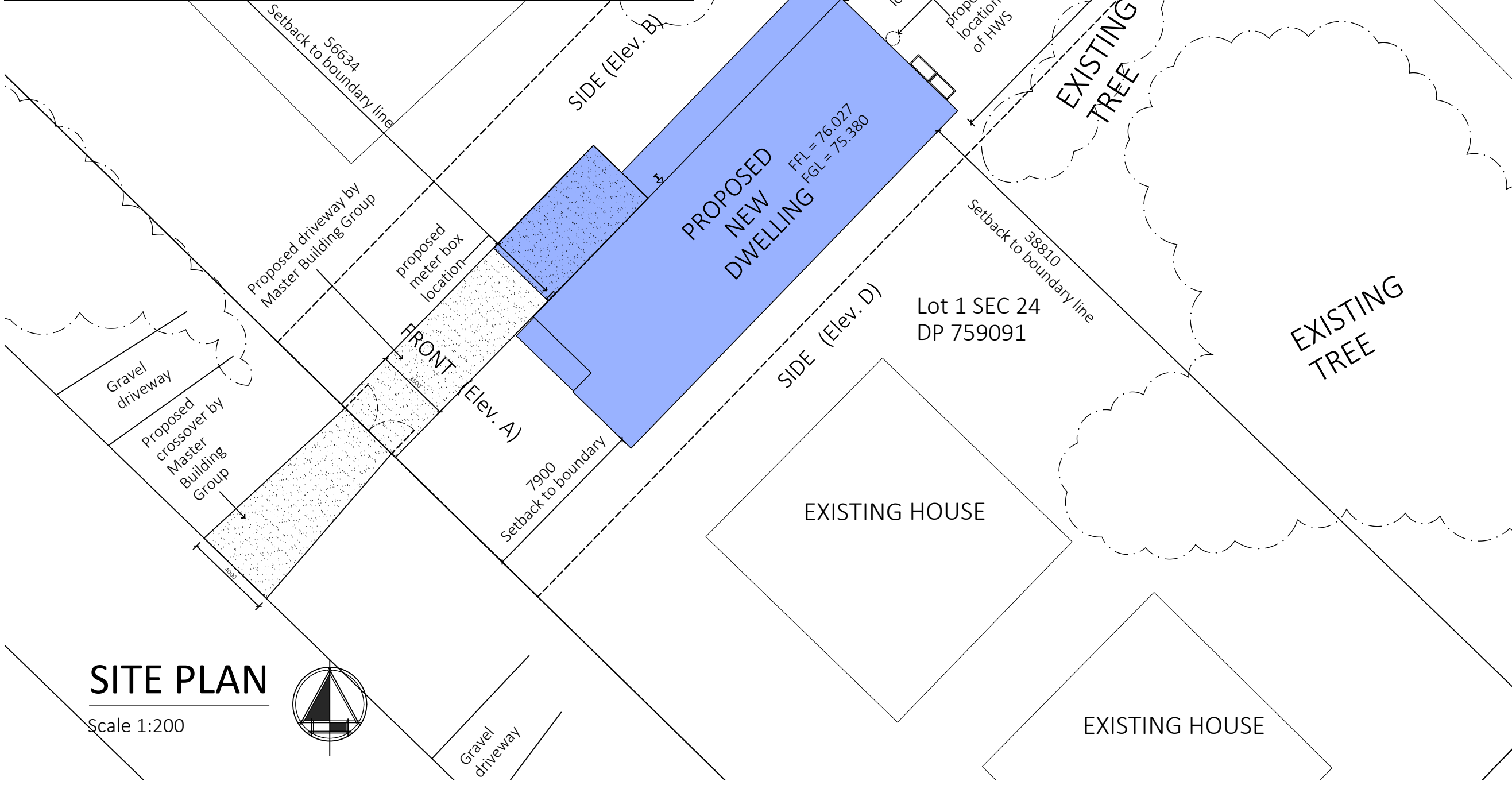
55-61 Karna Avenue  
Edinburgh Parks, S.A. 5111

Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
A.B.N. 97 008 087 278

All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1  
Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.

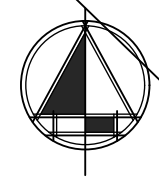
**TRANSPORTATION NOTES**  
- WHERE HEIGHT OF DWELLING SURPASSES NORMAL TRANSPORTABLE ALLOWANCES AND WILL BE SUBJECT TO TRANSPORT CONDITIONS AND ALLOWANCE ONCE ROUTE SURVEY HAS BEEN COMPLETED

**SITE PREPARATION NOTES**  
- SITE TO BE CLEARED OF VEGETATION AS EARLY AS POSSIBLE TO ALLOW FOR GROUND SETTLING  
- SUB BASE AND COMPACTION TO REQUIREMENTS TO BE DONE PRIOR TO DELIVERY BY BUILDER  
- LOCATION OF DWELLING TO BE PEGGED OUT PRIOR TO DELIVERY BY BUILDER.



**SITE PLAN**

Scale 1:200



Client:  
**Master Building Group Pty Ltd**

Address:  
Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836

Job Number: **580004** Rev: **B** Drawing No: **SP01**

**OVERALL SITEPLAN**

Building Consultant:  
**Mary O'Connor**

Scale: 1:200/1:2000 Date: 2022/11/16 Drawn By: MN

Sheet Size: A3 Sheet No: 01 Total Sheets: 19 Checked By: HL

**AMENDMENTS**

| Rev | Date       | Description                                     | By |
|-----|------------|---|----|
| A   | 07/11/2022 | Initial Working Drawings (Preliminary drawings) | MN |
| B   | 16/11/2022 | Amendments as per clients request               | MN |
| C   | 23/11/2022 | Minor dimension update for clarity              | HL |

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CONSTRUCTION

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NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SP02**

**COMPACTED PAD PLAN**  
Building Consultant:  
**Mary O'Connor**

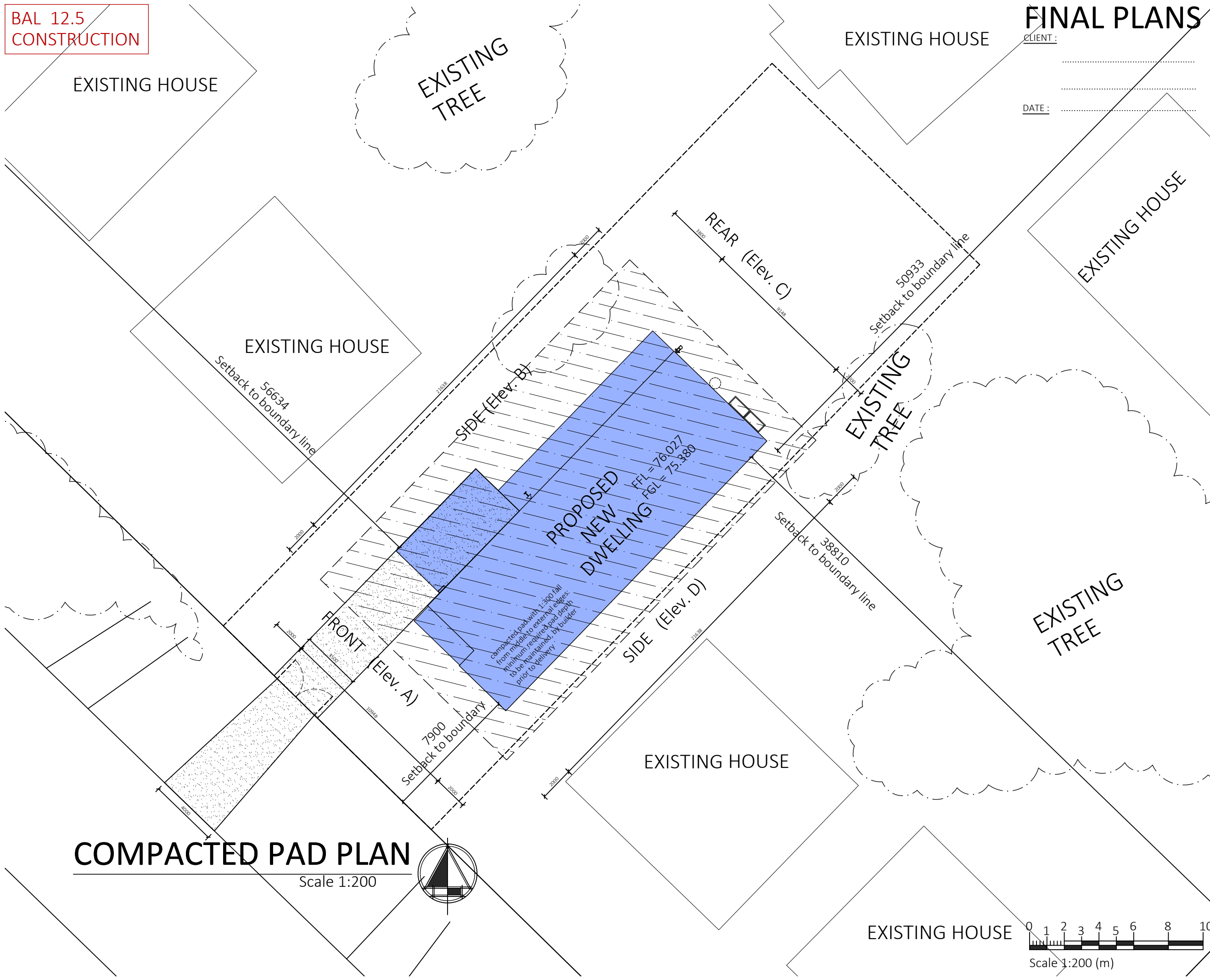
Scale: **1:200** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **02** Total Sheets: **19** Checked By: **HL**

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**COMPACTED PAD PLAN**

Scale 1:200



Scale 1:200 (m)

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**DESIGN NOTES**

HOUSE DESIGN : ROSEWOOD  
 SPECIFICATION : MY STYLE  
 ROOF MATERIAL : COLORBOND  
 ROOF PITCH : 13.5°  
 EAVES WIDTH: 300mm  
 CEILING HEIGHT : 2700mm  
 WINDOW HEAD HEIGHT : 2100mm  
 FINISHED FLOOR LEVEL: 647mm  
 WALL CLADDING:  
 200mm WEATHERTEX PANEL

INSULATION : SISALATION ROOF  
 CEILING : BLANKET TO CEILING  
 R5.0 INSULATION BATTS  
 EXTERNAL WALLS :  
 25mm KOOLTHERM + R2.0 GLASSWOOD BATTS  
 Total R-Value = 4.1  
 INTERNAL WALLS :  
 R2.0 SOUNDCREEN BATTS  
 (where nominated on plan, wet area internal walls only)  
 FLOOR :  
 R3.5 INSULATION BATTS + 15mm FOILBOARD  
 TO U/SIDE OF JOISTS (Total R-Value = 4.2)

| AREAS        |                             |
|--------------|-----------------------------|
| MAIN FLOOR   | 156.62 m <sup>2</sup>       |
| PORCH        | 4.44 m <sup>2</sup>         |
| VERANDAH     | 21.76 m <sup>2</sup>        |
| CAR PORT     | 23.1 m <sup>2</sup>         |
| OTHER        | m <sup>2</sup>              |
| <b>TOTAL</b> | <b>205.92 m<sup>2</sup></b> |

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**NSW 2836**

|               |          |             |
|---------------|----------|-------------|
| Job Number:   | Rev:     | Drawing No: |
| <b>580004</b> | <b>B</b> | <b>NT01</b> |

**NOTATIONS**

Building Consultant:  
**Mary O'Connor**

|        |            |           |
|--------|------------|-----------|
| Scale: | Date:      | Drawn By: |
| NTS    | 2022/11/16 | MN        |

|             |          |              |             |
|-------------|----------|--------------|-------------|
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| A3          | 03       | 19           | HL          |

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**GENERAL SITE NOTES**  
 - NO BRUSH FENCE WILL BE ERECTED WITHIN 3.0m OF THE DWELLING  
 - SITE BOUNDRIES TO BE CONFIRMED BY FINAL SURVEYORS PLAN  
 - HOUSE AND ORIENTATION TO BE CONFIRMED BY CLIENT PRIOR TO COMMENCEMENT OF BUILDING WORK  
 - COMPACTED PAD TO EXTEND 2.0m PAST FOOTPRINT OF HOUSE (INCLUDING VERANDAHS AND DECKS) PRIOR TO DELIVERY - BY BUILDER BEFORE DELIVERY  
 - COMPACTED PAD REQUIREMENTS  
 - DONE IN ACCORDANCE TO ENGINEERING SPECIFICATIONS  
 - MATERIAL  
 - PM2/20QG  
 - No 20mm CLASS 2 QUARRIED PAVEMENT MATERIAL (Grading Based) AGGREGATE  
 - BASE TO BE LAID OUT, ROLLED, WATERED DOWN AND RE-ROLLED.  
 TO BE REPEATED 3 TIMES (MIN.) TILL REQUIRED PAD HEIGHT IS ACHIEVED

- PAD HEIGHT  
 - 200mm DEPTH (RECOMMENDED)  
 - TO ACHIEVE 100mm MINIMUM  
 - PAD COMPACTION  
 - 150kPa COMPACTION RECOMMENDED  
 - 100kPa COMPACTION MINIMUM  
 - TESTING TO BE DONE BY DYNAMIC CONE PENETROMETER TEST AS PER BCA AND AUSTRALIAN STANDARDS AS1289.6.3.2-1997 (R2013) AS1289.6.3.3-1997

- MAINS SYSTEM  
 - BY MASTER BUILDING GROUP AFTER HANDOVER












**STORMWATER NOTES**  
 - ALL STORMWATER (DOWNPIPES) TO BE PLUMBED INTO RAIN WATER SYSTEM AND / OR OUTLET TO BE A DISTANCE OF 4.0m (MIN.) FROM HOUSE UPON INSTALL OF BUILDING ON SITE  
 - BY MASTER BUILDING GROUP AFTER HANDOVER

B.C.A Volume 2 Part 3  
 3.1.2.5 Stormwater Drainage

Where a stormwater drainage system is installed, it must comply with the following:

- The position and manner of discharge of the stormwater drainage system must be to the satisfaction of the appropriate authority.
- The stormwater drainage system must be designed so that any overflow during heavy rain periods is prevented from flowing back into the building.
- Cover to stormwater drains:  
 - the cover to 90mm Class 6 UPVC stormwater drains installed underground must no be less than -  
 (i) under soil - 100mm; or  
 (ii) under paved or concreted areas - 50mm; or  
 (iii) under areas subject to light vehicle traffic - (A) reinforced concrete - 75mm; or  
 (B) paved - 100mm

ALL ELECTRIC - NO GAS  
 - ELECTRIC HEAT PUMP HWS BY MASTER BUILDING GROUP  
 - ISOLATOR SWITCH FOR FUTURE SOLAR (UP TO 40AMP)

**GENERAL NOTES**  
 - EXTERNAL WALL MOUNTED TAPS  
 - RAINWATER TANK PROVISION  
 - FRIDGE COLD WATER POINT  
 - PERSON ACCESS CEILING HOLE ASSEMBLY TO BE TRIMMED ON SITE (POSITION IS NOMINAL)  
 - HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP  
 - MULTIPLE SMOKE DETECTORS TO BE INTERCONNECTED  
 - AUTOMATIC MECHANICAL VENT HARDWIRED TO LIGHTSWITCH  
 - MECHANICAL EXHAUST VENTS  
 - DENOTES APPROX. LOCATION OF DRY WASTE WHERE / IF REQ.  
 - EAVES VENT  
 - DENOTES R2.0 SOUNDCREEN INSULATION TO INTERNAL WALLS TO WET AREAS (REQ.) AND OTHER WALLS IF APPLICABLE / NOMINATED IN SPECIFICATIONS (REFER TO PLAN)

**DOWNPIPE NOTES**  
 - DOWNPIPES ON PLAN ARE NOMINAL IN LOCATION AND MAY BE MOVED IN ACCORDANCE WITH ENGINEERING PLAN OR BY THE ROOFING CONTRACTOR  
 - PVC DOWNPIPE (STANDARD)  
 - ALL PLUMBED INTO RAIN WATER SYSTEM AND / OR OUTLET  
 - WATER & MOISTURE PREVENTION MUST BE KEPT FROM UNDER BUILDING TO MINIMALISE FOOTING MOVEMENT  
 - CONNECTION BY MASTER BUILDING GROUP AFTER HANDOVER

**RAINWATER TANK NOTES**  
 - 1000 LITRE (MIN.) RAINWATER TANK AS PER COUNCIL REQUIREMENTS, OR AS OTHERWISE NOTED, WITH PUMP AND CHANGE OVER DEVICE CONNECTED TO ONE WC  
 - BY MASTER BUILDING GROUP AFTER HANDOVER  
 - BUILDER TO ALLOW FOR FIRST FIX PLUMBING PROVISION FOR A SEPARATE RAINWATER RUN PLUMBED TO ONE WC AND A MAINS WATER POINT FOR CHANGE OVER DEVICE

ALL ADDITIONAL NOMINATED ITEMS AND CHANGES TO BE READ IN CONJUNCTION WITH WITH RELATIVE AMENDMENTS AND VARIATIONS

**RANGEHOOD VENTILATION AND MECHANICAL WET AREA VENTILATION**

- RANGEHOOD TO BE FLUED THROUGH EXTERNAL EAVES VENT TO ATMOSPHERE  
 - ALL FANS TO BE INDEPENDENTLY FLUED TO TO ATMOSPHERE THROUGH EAVE VENT  
 - BATHROOM/ENSUITE MECHANICAL VENTS TO BE INDIVIDUALLY FLUED THROUGH EAVES VENTS TO ATMOSPHERE  
 - AUTOMATIC MECHANICAL EXHAUST VENT HARDWIRED TO LIGHT SWITCH

**TELSTRA / NBN BOX NOTES**  
 - NBN PROVISION  
 - TELSTRA / NBN LUCA / JUNCTION BOX WITH NBN DRAW WIRE  
 - INTERNAL NBN  
 - INTERNAL NBN BOX WITH DEDICATED SINGLE POWER POINT AND DATA / PHONE SOCKET TO A NON-ENCLOSED AREA

**NOTES**  
 - TRANSPORTABLE DESIGN - SPLIT  
 - TRANSPORTABLE DESIGN - DOUBLE

- 22mm THICK TERMIFLOOR SHEETING TO MAIN FLOORING  
 - 19mm THICK SCYON SECURA FLOOR SHEETING TO WET AREAS

- VERMIN BARRIER TO UNDERSIDE OF FLOOR  
 - SISALATION MULTIPURPOSE EXHD HEAVY DUTY ANTI-GLARE SARKING UNDER ROOF SHEETING

- PERMEABLE WALL WRAP (AS NOMINATED) AROUND ALL EXTERNAL WALLS BETWEEN STEEL FRAME AND BATTENS

- BASE INFILL FRAME SUPPLIED - BY BUILDER INSTALLED - BY MASTER BUILDING GROUP  
 - BASE INFILL FRAME INSTALLED BY MASTER BUILDING GROUP AFTER HANDOVER  
 - EXTERNAL CLADDING TO BASE INFILL FRAMES SUPPLIED AND INSTALLED BY MASTER BUILDING GROUP AFTER HANDOVER

- NO FLOOR TRAP REQUIRED AS PER MINISTER'S STANDARD SA F1.7

- LAUNDRY AND BATH SANITARYWARE TO BE FITTED WITH OVERFLOWS

- 35mm SETDOWN TO WHOLE OF WET AREAS (AS NOMINATED) WITH GRADED FALLS TO SHOWER OUTLET AND / OR FLOOR TRAP (IF NOMINATED)

- 1200mm HIGH TILING (MIN.) TO BATH AND ENSUITE WHERE WC IS INCLUDED IN WALL SPACE

|                    |            |
|--------------------|------------|
| TOWEL RAIL HEIGHTS |            |
| BATHROOM           | €1.00m AFL |
| ENSUITE            | €1.00m AFL |

|   |            |
|---|------------|
| TOWEL RAIL HEIGHTS (WHERE LOCATED ABOVE BATH HOB) |            |
| BATHROOM  | €1.35m AFL |
| ENSUITE   | €1.35m AFL |

- TOWEL RAIL MAY NEED TO BE CUT IN TO FIT TO BATHROOM AND ENSUITE

|                            |            |
|----------------------------|------------|
| TOILET ROLL HOLDER HEIGHTS |            |
| ALL WC's                   | €0.70m AFL |

|                                  |            |
|----------------------------------|------------|
| TOWEL RING HEIGHTS (WHERE REQ'D) |            |
| TYPICAL                          | €1.35m AFL |
| ABOVE VANITY BENCH               | €1.50m AFL |

|                                 |           |
|---------------------------------|-----------|
| SOAP DISH HEIGHTS (WHERE REQ'D) |           |
| WITHIN SHOWER                   | €1.1m AFL |

JOINERY  
 - REFER TO JOINER'S SPECIFICATIONS FOR DRAWINGS AND JOINER'S DETAILS

**AIRCONDITIONING SYSTEM**  
 - ALL A/CON DRAINAGE TO MUST BE DRAINED AWAY FROM BUILDING AND NOT UNDER BUILDING  
 - REVERSE CYCLE SPLIT SYSTEM  
 - BY BUILDER

**ENTRY DOOR**  
 - INVISIGUARD SECURITY SCREEN  
 LAUNDRY DOOR  
 - SINGLE DOOR SOLID PANEL SECURITY DOORS / SCREENS  
 - SECURITY DOORS TO ENTRY AND LAUNDRY AS NOMINATED  
 - SECURITY SCREEN TO ALUMINIUM SLIDING DOORS AS NOMINATED

**KITCHEN WINDOW**  
 - EXTEND BENCHTOP INTO WINDOW (NO BOTTOM REVEAL)

**CEILING FANS**  
 - ALL CEILING FAN LOCATIONS TO BE CONFIRMED AT SELECTIONS INSTALLED  
 - TO BE REMOVED PRIOR TO TRANSPORTATION  
 - REINSTALLED ON DELIVERY  
 - BY BUILDER

**FRAMING NOTES**  
**EXTERNAL WALL FRAMES**  
 - 75mm STEEL STUD WALL FRAMES  
 - 25mm K12 KOOLTHERM PANELS TO EXTERNAL SIDE OF FRAMES  
 - 42x19 TIMBER BATTENS OVER PANELS  
**INTERNAL WALLS FRAMES**  
 - 75mm STEEL STUD WALL FRAMES  
 - 92mm TO CAVITY SLIDERS

**FLOOR**  
 - 200x100 RHS PERIMETER BEAMS  
 - 200x100 RHS INTERNAL CROSS BEAMS  
 - 150x100 RHS INTERNAL CROSS BEAMS WHERE LOCATED UNDER WET AREA  
**C-SECTION INFILL FLOOR PANEL SYSTEM VERANDAH / PITCHING BEAMS**  
 150x50x2.0 DURAGAL (OR OTHERWISE NOMINATED MITRE CUT JUNCTIONS TO CORNERS

**SITE NOTES FOR BUSHFIRE VEHICLE ACCESS**  
 - 6.0m wide (min) road/access surface to be solid, all weather crossing that are capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes as per Minister's Code of Undertaking development in Bushfire Protection Areas  
 - Road width = 6.0m wide minimum  
 - All corners/bends to be have a radius 12.5m minimum to road centre (9.5m to internal radius)  
 - access road to be either  
 - a full race track, or  
 - at end of road to have a turning circle with a radius of 12.5m minimum, or  
 - a "T" shaped turning area to allow trucks to reverse into so vehicle can turn around in (11.0m minimum)

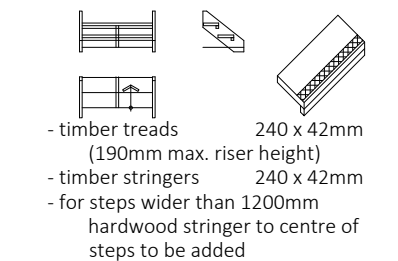
**BUSHFIRE NOTES**  
 - REFER TO BUSHFIRE SHEET FOR DETAILED INFORMATION  
 UNDERFLOOR INFILL WALL FRAMES  
 - NOT TO BE LOCATED UNDER ANY VERANDAH, PORCH, DECK OR AREA THAT WHERE THE FLOOR IS EXPOSED EXTERNALLY  
 - UNDERSIDE OF THESE AREA ARE TO REMAIN OPEN  
 - INFILL FRAMES TO FOLLOW ALONG MAIN EXTERNAL WALL FACE  
 - SUB-FLOOR FRAMING AND CLADDING (WITH SARKING) TO BE LEVEL WITH EXTERNAL FACE OF MAIN WALL FACE  
 - FRC CLADDING AND UNDERFLOOR VENTS TO BE COMPLIANT WITH BAL12.5 BUSHFIRE REGULATIONS  
 - VENTS NEAREST TO CORNERS TO BE 600mm (MAX.) FROM OF CORNERS  
 - REMAINING VENTS TO BE EVENLY SPACED (2.0m MAX.) ALONG LENGTH  
 - WHERE LPG BOTTLES ARE LOCATED, VENTS TO BE 1.0m (MIN.) AWAY FROM NEAREST SURFACE FACE OF BOTTLES OR FROM INLET POINT

**BUSHFIRE CONSTRUCTION NOTES**  
 - BAL 12.5 GENERAL RISK  
 - DEDICATED FIRE FIGHTING WATER SUPPLY OF AT LEAST 2000 LITRES REQUIRED (AS PER MINISTERS SPECIFICATION SA78)  
 - BY OWNER AFTER HANDOVER  
 - SETBACK OF 20m FROM FLAMMABLE OR COMBUSTIBLE VEGETATION FROM DWELLING  
 - ACCESS ROADS AND TRACKS TO BE APPROPRIATELY DESIGNED FOR ENTRY, TRANSITION THROUGH AND EXIT OF EMERGENCY VEHICLES INCLUDING FIRE FIGHTING VEHICLES DURING A FIRE

**TRANSPORTATION NOTES**  
 - WHERE HEIGHT OF DWELLING SURPASSES NORMAL TRANSPORTABLE ALLOWANCES AND WILL BE SUBJECTED TO TRANSPORT CONDITIONS AND ALLOWANCE ONCE ROUTE SURVEY HAS BEEN COMPLETED

**EXTERNAL FITTING NOTES**  
 - ANY EXTERNAL FITTINGS (POWER POINTS, GAS POINTS, LIGHT FITTINGS etc.) ARE TO BE REMOVED PRIOR TO DELIVERY  
 - ITEMS WILL STILL BE TAGGED AND TESTED  
 - ITEMS TO BE REFITTED ON SITE BY CLIENT'S OWN ELECTRICIAN / PLUMBER / GAS FITTER  
 - REFER TO FINAL PLAN FOR LOCATIONS OF EXTERNAL SERVICES

**STEPS NOTES**  
 - SUPPLY BY BUILDER  
 - INSTALLED BY MASTER BUILDER GROUP AFTER HANDOVER  
 - TREADS TO HAVE SLIP RESISTANT FINISH WITH A SLIP RESISTANT CLASSIFICATION OF AT LEAST P4  
 - ANTI-SLIP TAPE (18Mx50mm WITH 30% CONTRAST FROM TREAD) TO BE INSTALLED ON TREADS (15mm MAX. FROM BACK OF EDGE)  
 - TAPE AND INSTALLATION TO COMPLY WITH AS1428.1-2009 AND BCA PART 3.9.1.4  
 - OWNER TO MAINTAIN COMPLIANCY DUE TO WEAR OF TAPE  
 - WHERE STEPS ARE TO BE LOCATED DIRECTLY AT AN EXTERNAL DOOR (i.e. DOOR ON EXTERNAL WALL) A LANDING IS TO BE CONSTRUCTED AT THE DOOR EXIT (1.0m X 1.25m MIN.)  
 - BY OWNER AFTER HANDOVER  
 - NOT REQUIRED IF STEPS ARE TO BE FIXED TO VERANDAH / DECK / PORCH SPACE



# FINAL PLANS

**CLIENT :** .....

.....

**DATE :** .....



| EXTERNAL DOORS (HxW) |             |                                     |
|----------------------|-------------|-------------------------------------|
| D1                   | 2040 x 920  | HINGED (invisigard security screen) |
| D2                   | 2040 x 920  | HINGED (invisigard security screen) |
| D3                   | 2100 x 1810 | ASD (invisigard security screen)    |

| INTERNAL DOORS (HxW) |            |                          |
|----------------------|------------|--------------------------|
| D4-D8                | 2040 x 920 | HINGED                   |
| D9                   | 2100 x 850 | Square Opening           |
| D10                  | 2040 x 820 | HINGED                   |
| D11-D12              | 2040 x 920 | HINGED                   |
| D13                  | 2040 x 920 | HINGED (lift off hinges) |
| D14                  | 2100 x 850 | Square Opening           |

| WINDOWS (HxW) |             |   |
|---------------|-------------|---|
| W1-W5         | 1800 x 1450 | ASW                                       |
| W6-7          | 1800 x 850  | ASW                                       |
| W8            | 1800 x 1450 | ASW                                       |
| W9            | 450 x 1210  | ASW (obscure glazing)                     |
| W10           | 1200 x 1210 | ASW (obscure glazing)                     |
| W11           | 1200 x 450  | AAW (obscure glazing)                     |
| W12           | 1200 x 1210 | ASW (extend into bench, no bottom reveal) |
| W13           | 610 x 1029  | ASW (obscure glazing)                     |

# BAL 12.5 CONSTRUCTION

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transportable homes

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 (where nominated on plan, wet area internal walls only)  
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 TO U/SIDE OF JOISTS (Total R-Value = 4.2)

**AREAS**

|              |                             |
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| CAR PORT     | 23.1 m <sup>2</sup>         |
| OTHER        | m <sup>2</sup>              |
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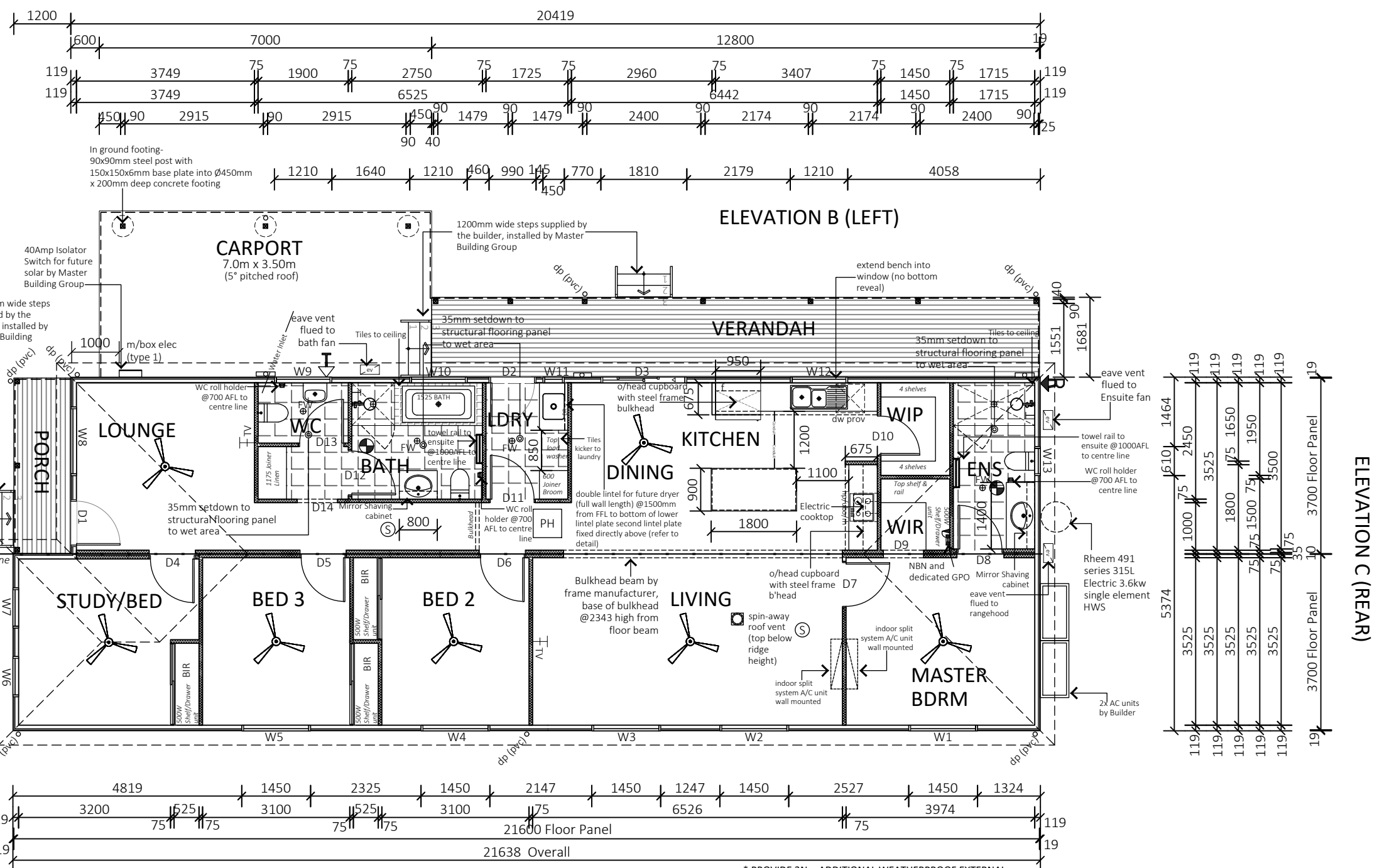
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|--|-------------------|--------------|
| Job Number:                                  | Rev:              | Drawing No:  |
| <b>580004</b>                                | <b>B</b>          | <b>FP01</b>  |
| <b>FLOORPLAN</b>                             |                   |              |
| Building Consultant:<br><b>Mary O'Connor</b> |                   |              |
| Scale:                                       | Date:             | Drawn By:    |
| <b>1:100</b>                                 | <b>2022/11/16</b> | <b>MN</b>    |
| Sheet Size:                                  | Sheet No          | Total Sheets |
| <b>A3</b>                                    | <b>04</b>         | <b>19</b>    |
| Checked By:                                  |                   |              |
| <b>HL</b>                                    |                   |              |

| AMENDMENTS |            |   |    |
|------------|------------|---|----|
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| C          | 23/11/2022 | Minor dimension update for clarity              | HL |

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\* PROVIDE 3No. ADDITIONAL WEATHERPROOF EXTERNAL BATTEN HOLDER (HPM360) LIGHT POINT WITH GLOBE  
 \* PROVIDE ISOLATOR SWITCH FOR FUTURE SOLAR

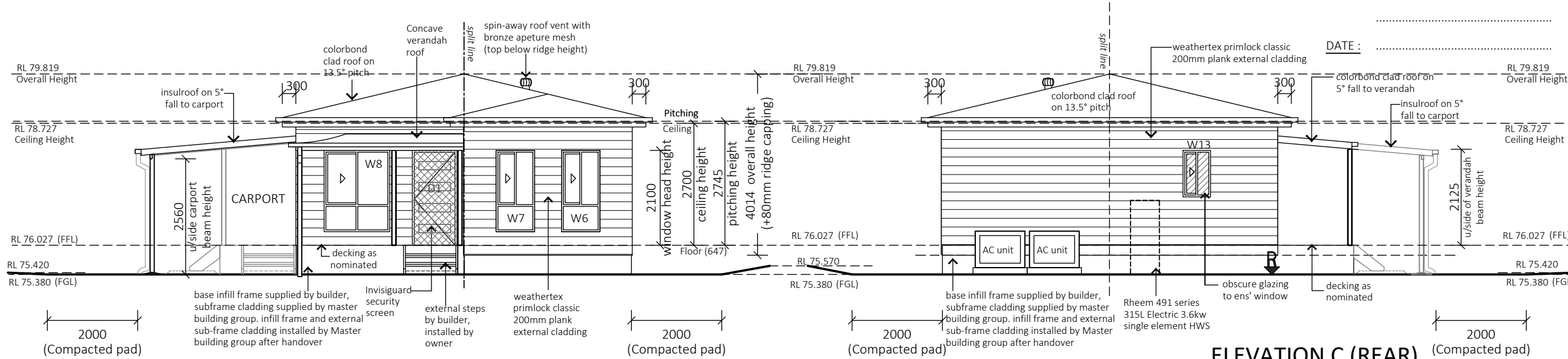


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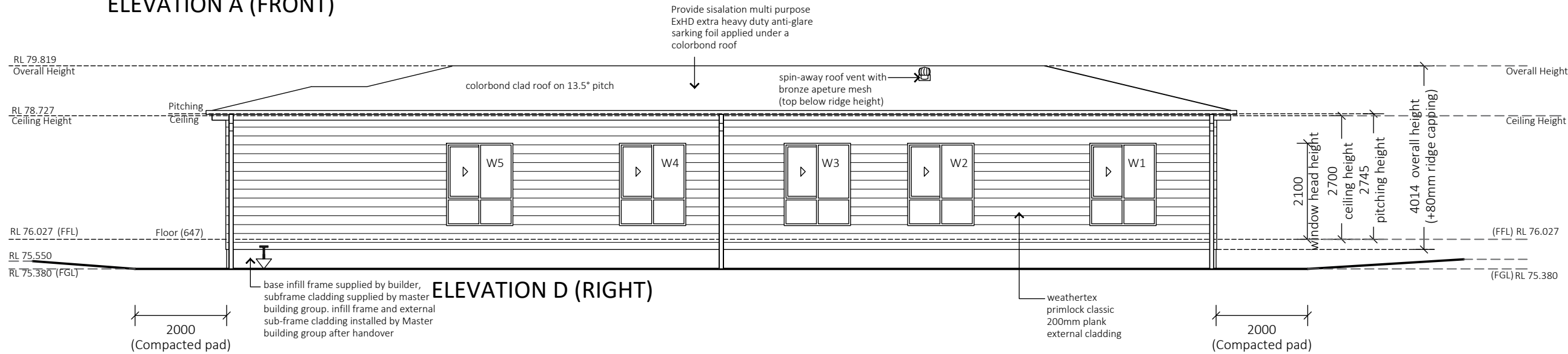
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All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1 Roof Pitch subject to +/- 1 degree tolerance Refer to engineers report for all structural elements.

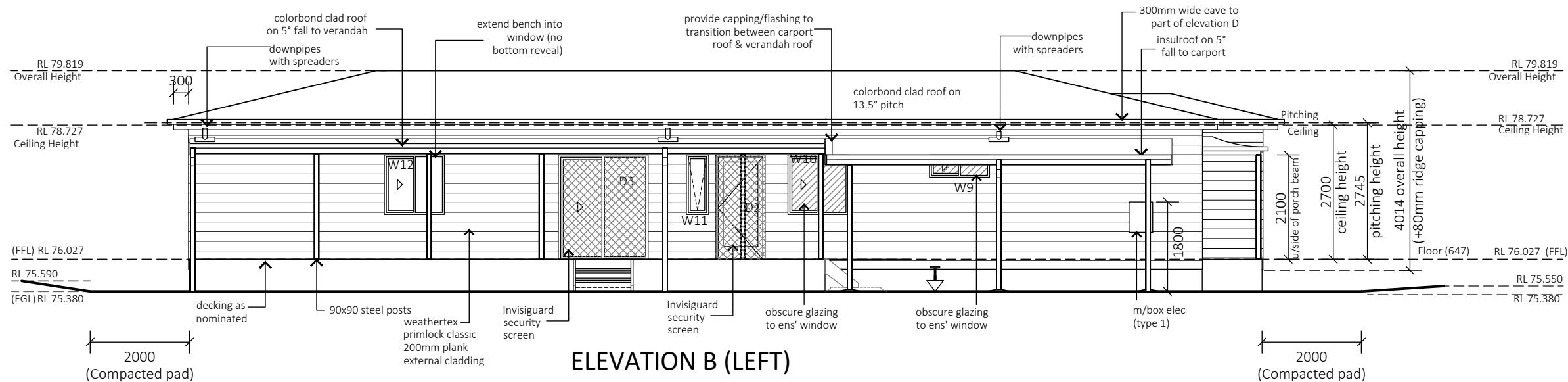
\*Bronze window flywire to screen



**ELEVATION A (FRONT)**



**ELEVATION D (RIGHT)**



**ELEVATION B (LEFT)**

Client: **Master Building Group Pty Ltd**

Address: **Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **EL01**

**ELEVATIONS**

Building Consultant: **Mary O'Connor**

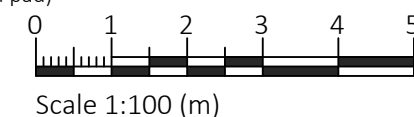
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Sheet Size: **A3** Sheet No: **05** Total Sheets: **19** Checked By: **HL**

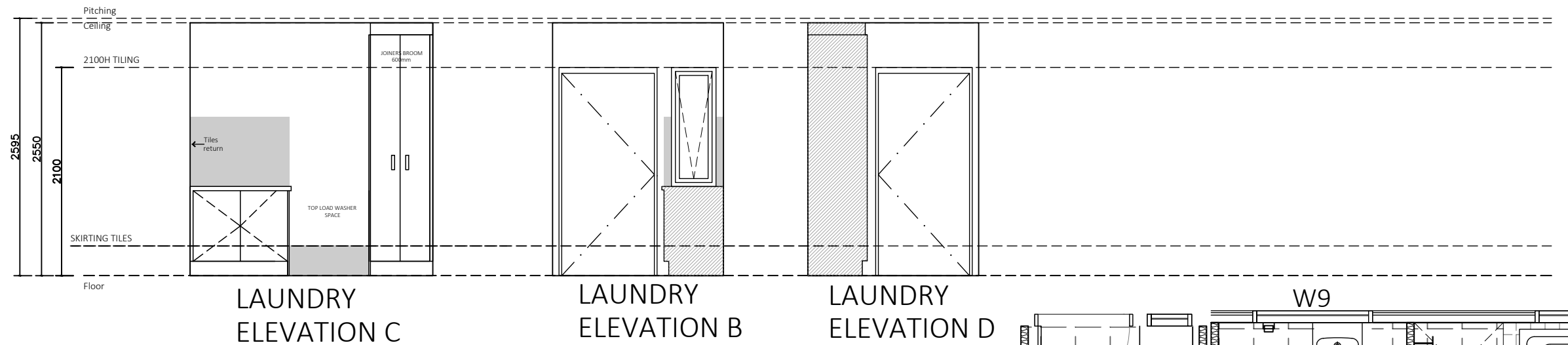
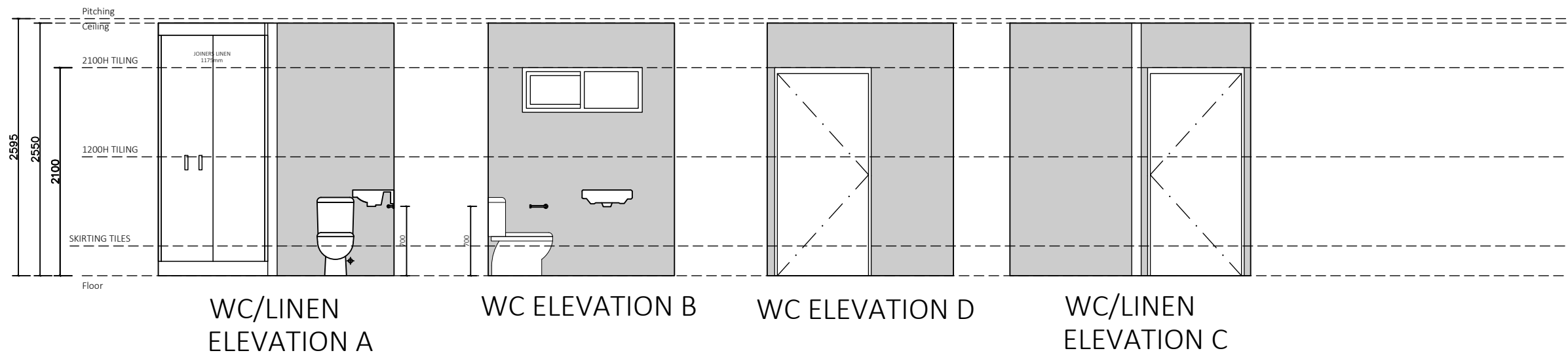
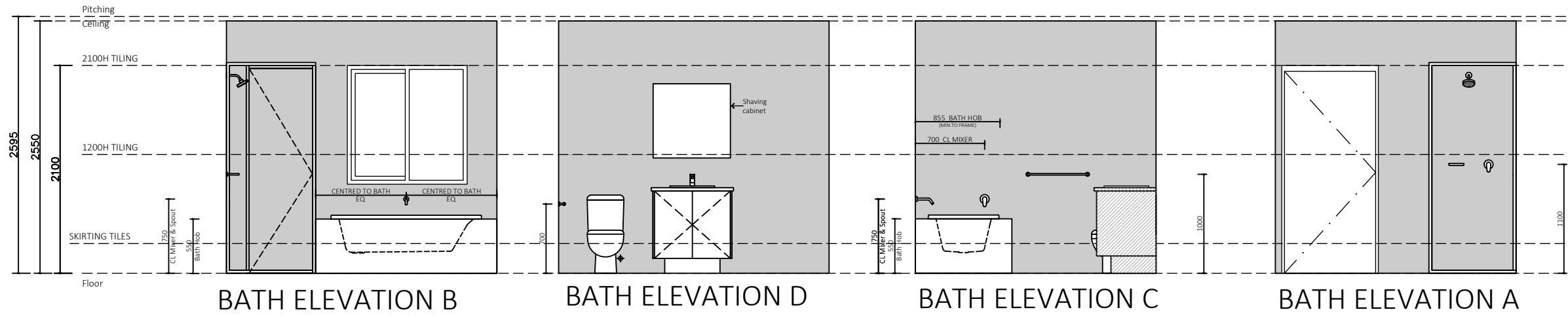
**AMENDMENTS**

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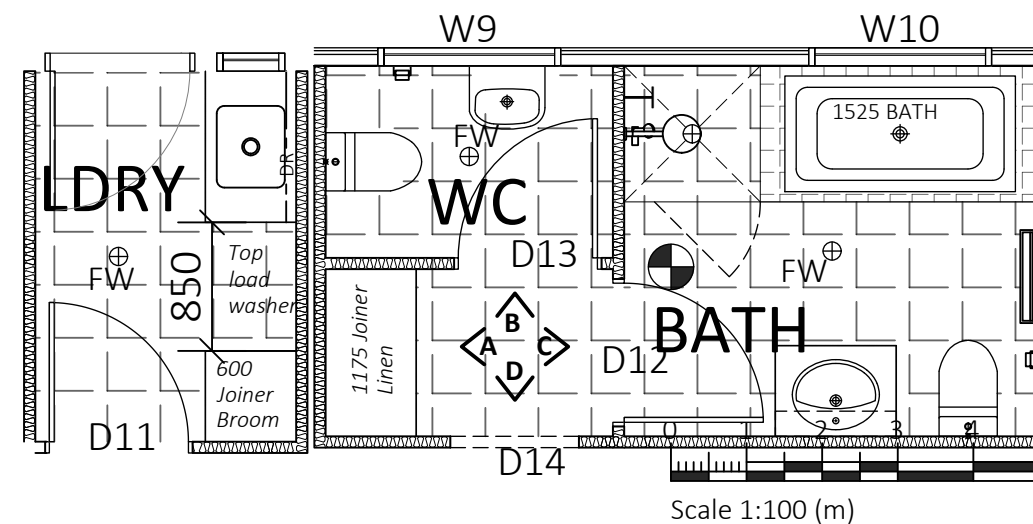


All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1  
Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.



# FINAL PLANS

CLIENT :  
.....  
.....  
DATE : .....



Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091**  
**42 Adams st, Wilcannia**  
**NSW 2836**

Job Number: **580004**      Rev: **B**      Drawing No: **EL02**

**KITCHEN & BATH ELEVATIONS**

Building Consultant:  
**Mary O'Connor**

Scale: **1:100**      Date: **2022/11/16**      Drawn By: **MN**

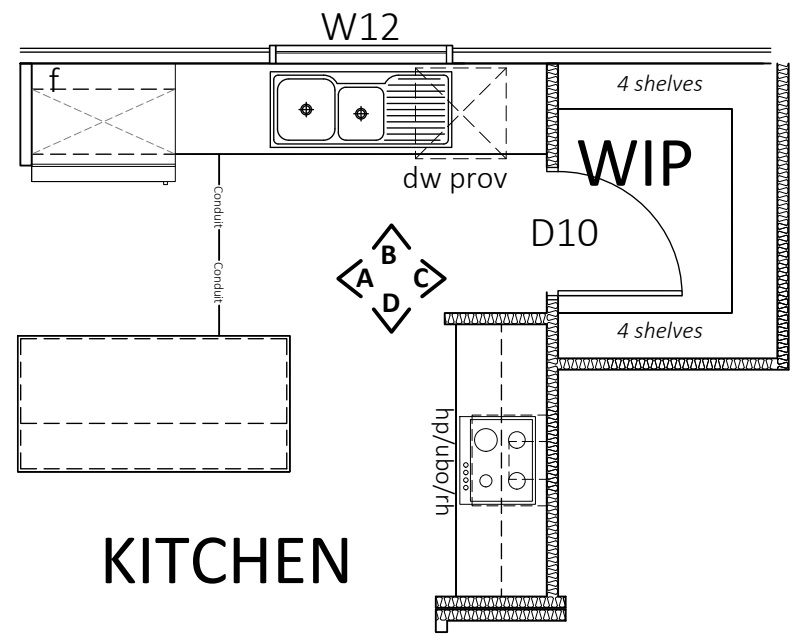
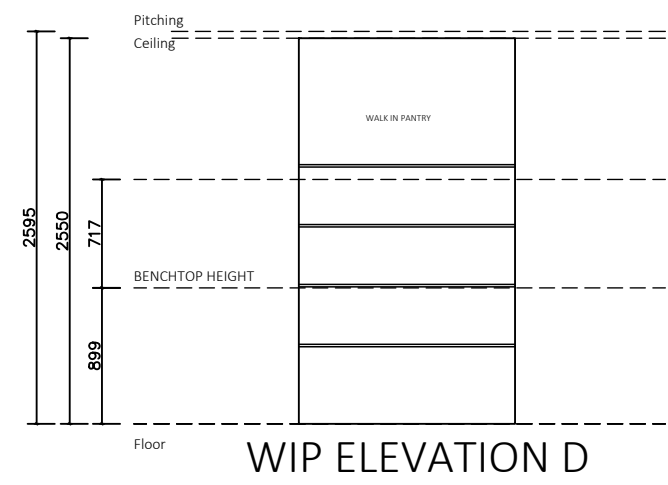
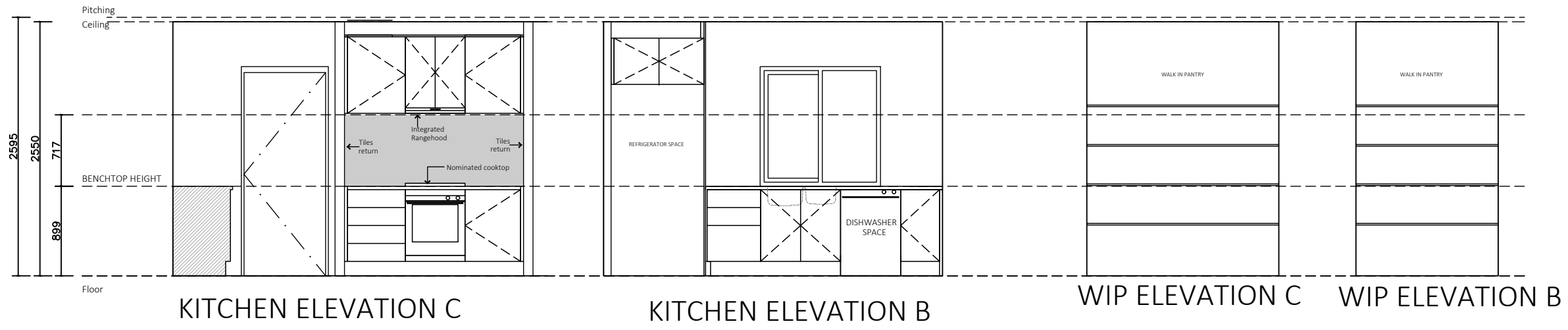
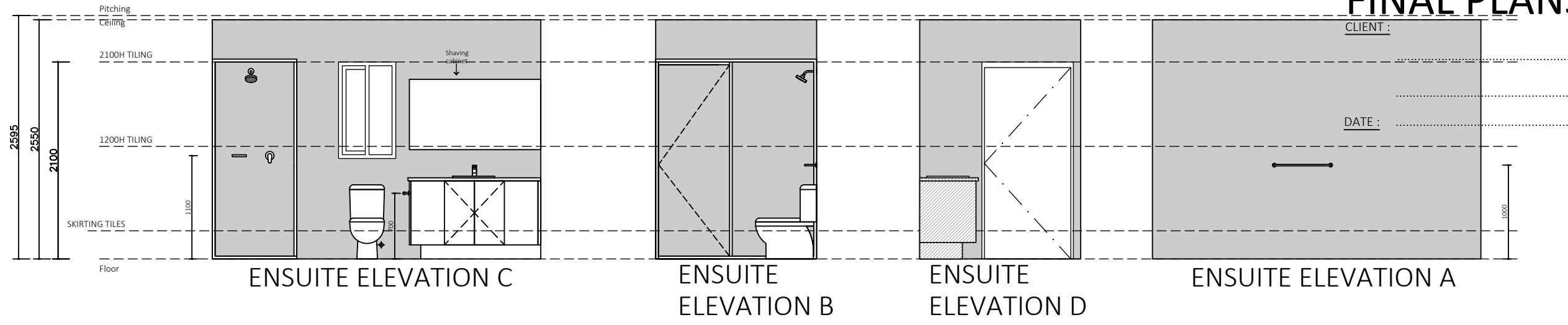
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### AMENDMENTS

| Rev | Date       | Description                                     | By |
|-----|------------|---|----|
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# FINAL PLANS



**KITCHEN**

CLIENT :  
DATE :

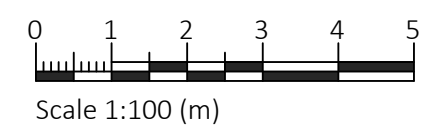
**allsteel**  
transportable homes  
55-61 Karna Avenue  
Edinburgh Parks, S.A. 5111  
Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
A.B.N. 97 008 087 278

All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1 Roof Pitch subject to +/- 1 degree tolerance Refer to engineers report for all structural elements.

Client:  
**Master Building Group Pty Ltd**  
Address:  
**Lot 42 DP 759091**  
**42 Adams st, Wilcannia**  
**NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **EL03**  
**KITCHEN & BATH ELEVATIONS**  
Building Consultant:  
**Mary O'Connor**  
Scale: **1:100** Date: **2022/11/16** Drawn By: **MN**  
Sheet Size: **A3** Sheet No: **06** Total Sheets: **19** Checked By: **HL**

| AMENDMENTS |            |   |    |
|------------|------------|---|----|
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# FINAL PLANS

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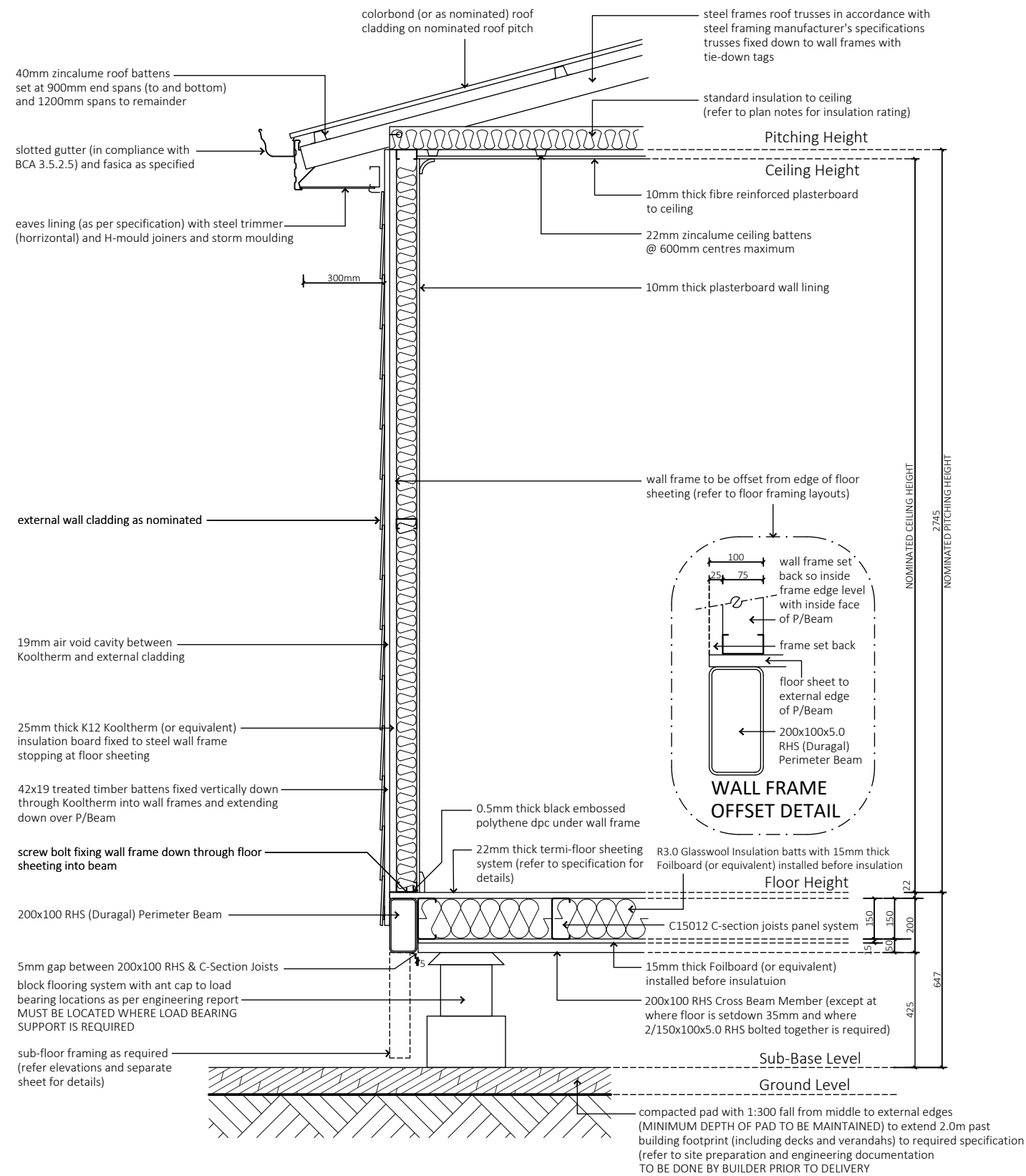
DATE : .....



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A.B.N. 97 008 087 278

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Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.



**SECTION THROUGH EXTERNAL WALL (119mm)**

Scale 1:20

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD01**

**SECTION / DETAILS**

Building Consultant:  
**Mary O'Connor**

Scale: **1:20** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **08** Total Sheets: **19** Checked By: **HL**

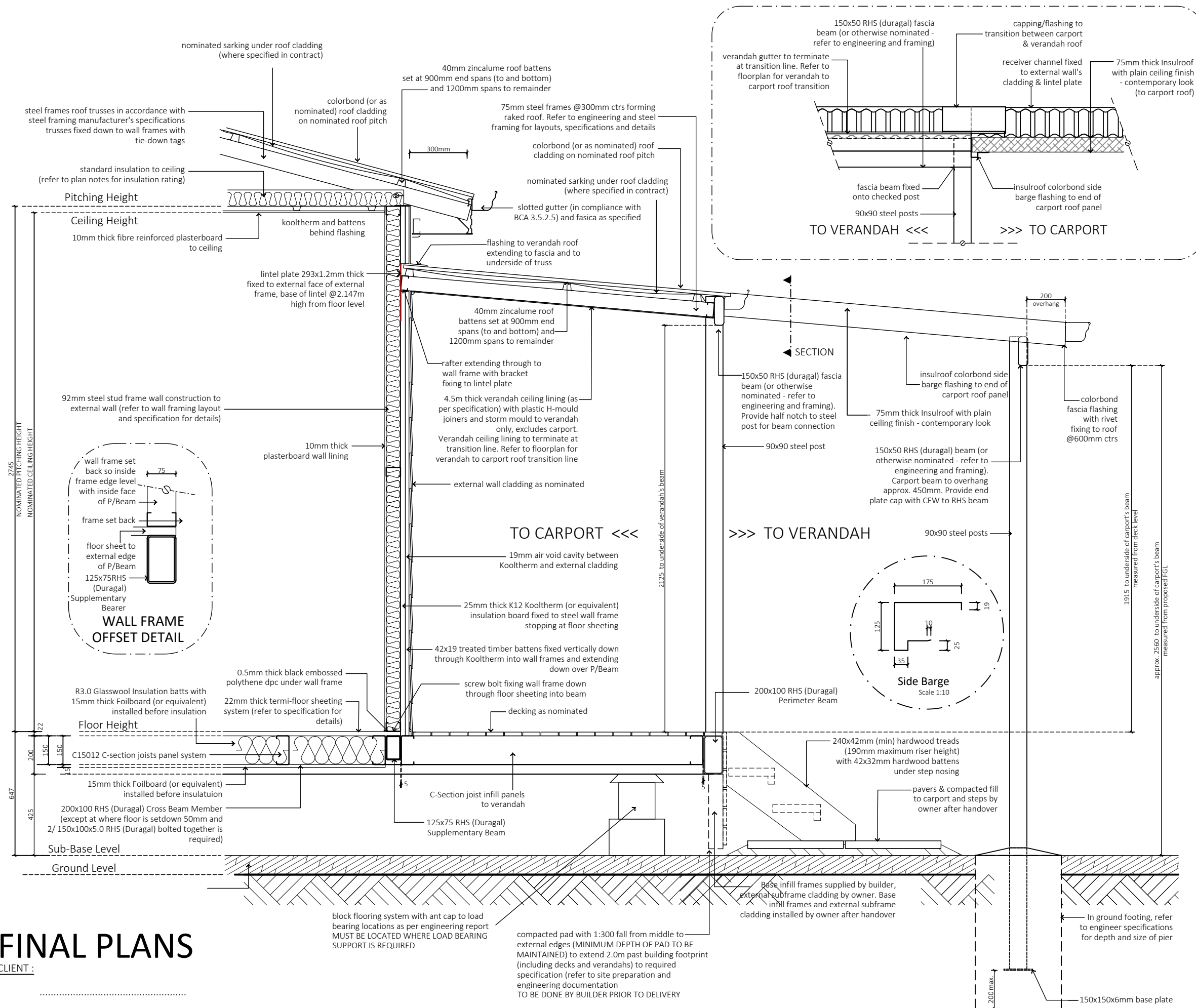
**AMENDMENTS**

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# FINAL PLANS

CLIENT :  
.....  
DATE :  
.....

## SECTION THROUGH CARPORT & VERANDAH ROOF

Scale 1:20

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD02**

### SECTION / DETAILS

Building Consultant:  
**Mary O'Connor**

Scale: **1:20** Date: **2022/11/16** Drawn By: **MN**

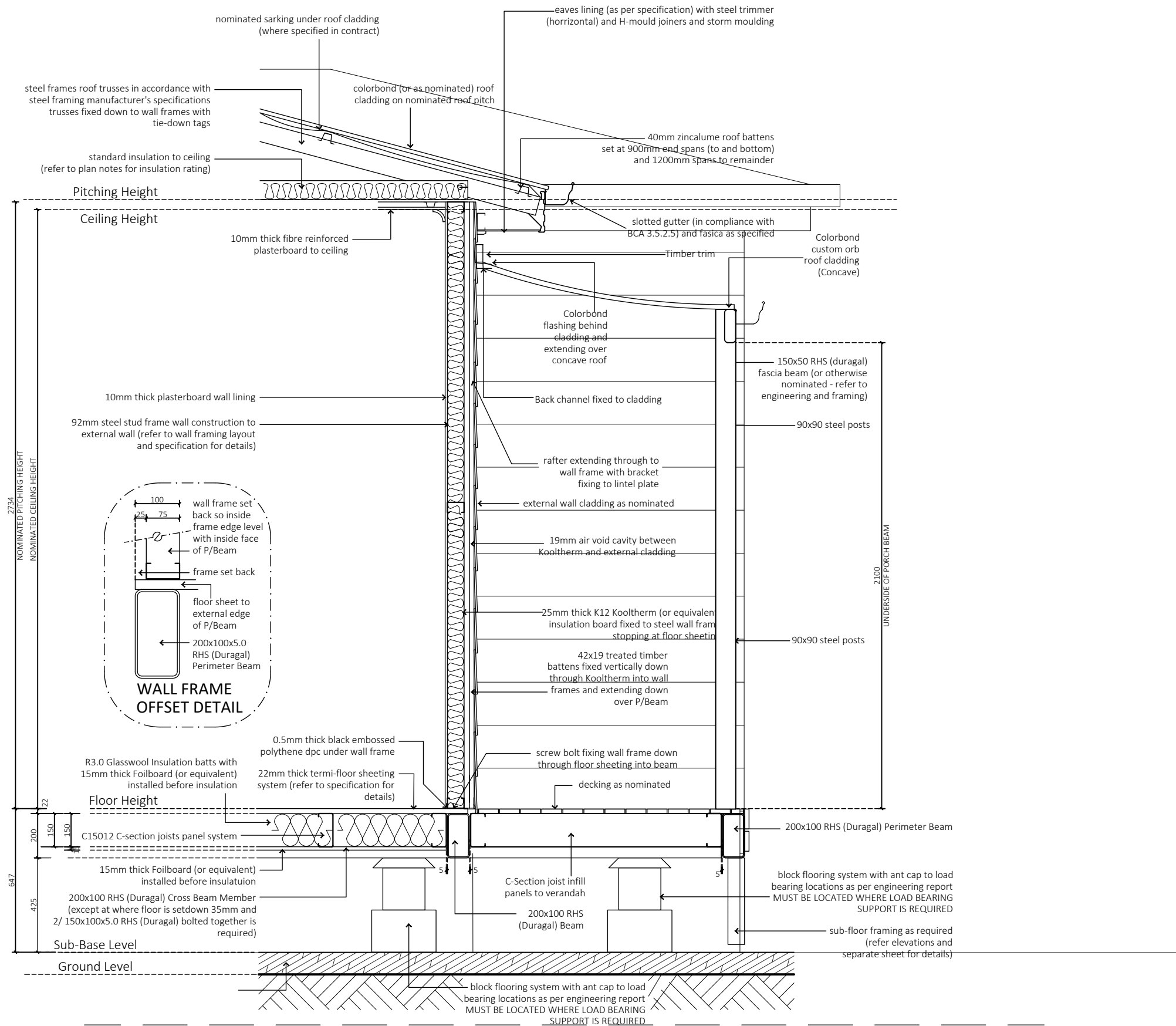
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### AMENDMENTS

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| C   | 23/11/2022 | Minor dimension update for clarity              | HL |

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Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.



SECTION THROUGH PORCH AND EXTERNAL WALL

Scale 1:20

# FINAL PLANS

CLIENT :  
.....  
.....  
DATE : .....

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD03**

**SECTION / DETAILS**  
Building Consultant:  
**Mary O'Connor**

Scale: **1:20** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **10** Total Sheets: **19** Checked By: **HL**

| AMENDMENTS |            |   |    |
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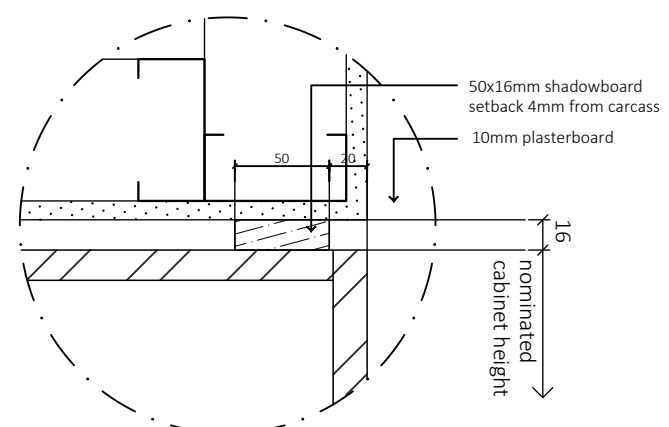
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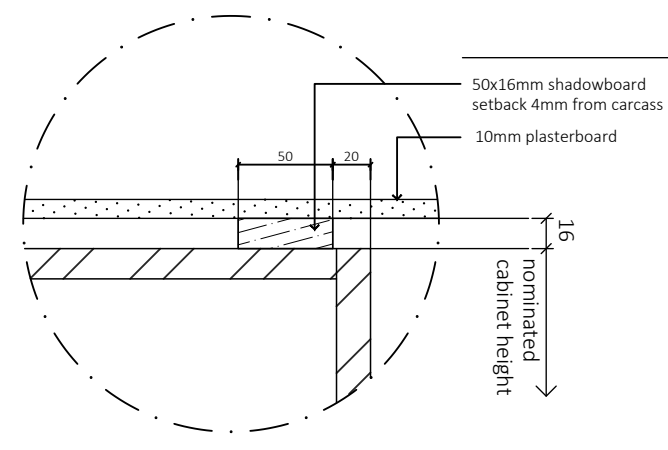
CLIENT :  
 .....  
 .....  
 DATE :  
 .....

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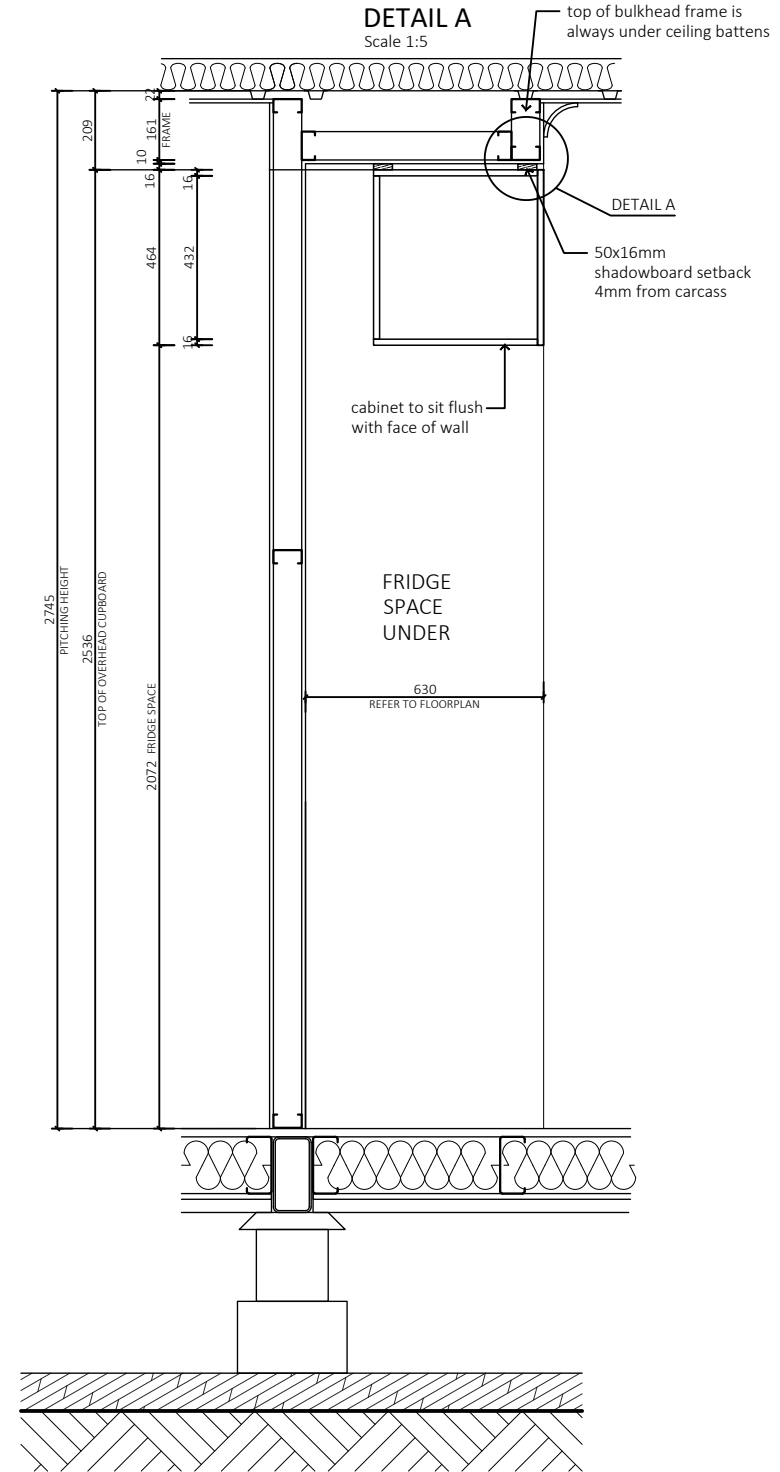
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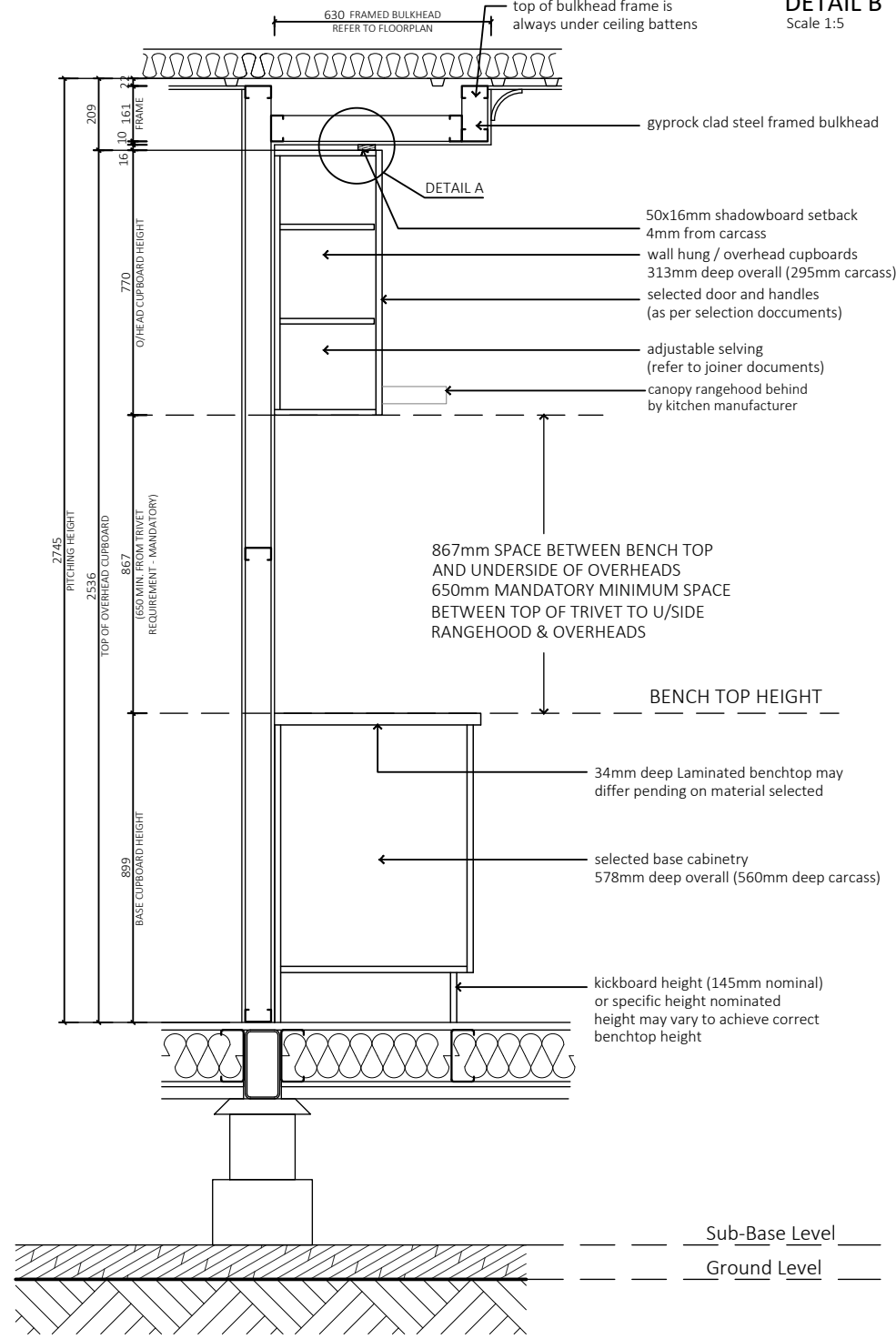
**DETAIL A**  
 Scale 1:5  
 top of bulkhead frame is always under ceiling battens



**DETAIL B**  
 Scale 1:5



**OVERHEAD CUPBOARD WITH STEEL FRAME BULKHEAD ABOVE FRIDGE SPACE - 2550mm CEILING HEIGHTS**  
 Scale 1:20



**KITCHEN CABINETRY WITH STEEL FRAME BULKHEAD OVER 2550mm CEILING HEIGHTS**  
 Scale 1:20

**IMPORTANT NOTES :**

CABINETRY REPRESENTATIONS SHOWN ARE FOR INFORMATION ONLY REFER TO JOB SPECIFIC PLANS AND JOINERY DOCUMENTATION

REDUCED BULKHEAD WILL BE REQUIRED IF BENCHTOP IS HIGHER THAN STANDARD HEIGHT OF 899mm

HEIGHTS BASED UPON SUPREME JOINERY SERIES  
 2566 SERIES    2550 CEILING HEIGHT  
                   2386mm OVERALL HEIGHT  
                   770mm OVERHEAD CUPBOARDS (TYPICAL)  
                   899mm BENCH CUPBOARDS (TYPICAL)

**BENCHTOP HEIGHTS ABOVE FLOOR LEVEL**

34mm LAMINATE (TYPICAL)    899mm  
 20mm STONE                    899mm  
 40mm STONE                    899mm

OTHER THICKNESS ABOVE 40mm - REFER TO DRAWINGS BY JOINER

145mm KICKER HEIGHT AS STANDARD  
 KICKER HEIGHT MAY VARY DEPENDING ON BENCHTOP MATERIAL OR UPON REQUEST  
 REFER TO SELECTION AND JOINERY DOCUMENTATION  
 (NOTE: BENCHTOP HEIGHT REMAINS AT 899mm FROM FFL)

Client:  
**Master Building Group Pty Ltd**  
 Address:  
**Lot 42 DP 759091**  
**42 Adams st, Wilcannia**  
**NSW 2836**

Job Number:                    Rev:                    Drawing No:  
**580004**                    **B**                    **SD04**

**OVERHEAD CUPBOARDS DETAILS**

Building Consultant:  
**Mary O'Connor**

Scale:                    Date:                    Drawn By:  
**1:20**                    **2022/11/16**                    **MN**

Sheet Size:    Sheet No    Total Sheets    Checked By:  
**A3**                    **11**                    **19**                    **HL**

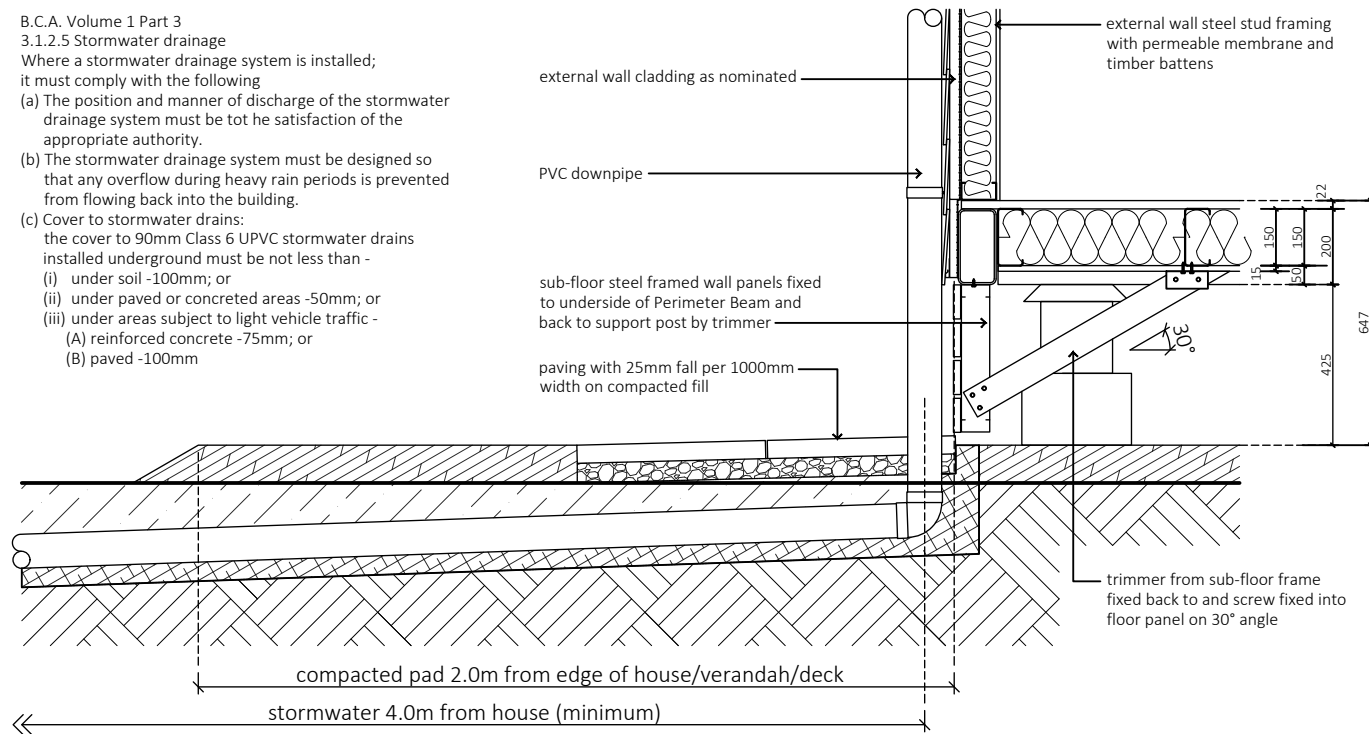
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B.C.A. Volume 1 Part 3  
3.1.2.5 Stormwater drainage

- Where a stormwater drainage system is installed; it must comply with the following
- (a) The position and manner of discharge of the stormwater drainage system must be to the satisfaction of the appropriate authority.
  - (b) The stormwater drainage system must be designed so that any overflow during heavy rain periods is prevented from flowing back into the building.
  - (c) Cover to stormwater drains:  
the cover to 90mm Class 6 UPVC stormwater drains installed underground must be not less than -
    - (i) under soil -100mm; or
    - (ii) under paved or concreted areas -50mm; or
    - (iii) under areas subject to light vehicle traffic -
      - (A) reinforced concrete -75mm; or
      - (B) paved -100mm



**TYPICAL STORMWATER AND SUB-FLOOR WALL SECTION DETAIL**

Scale 1:20

# FINAL PLANS

CLIENT :

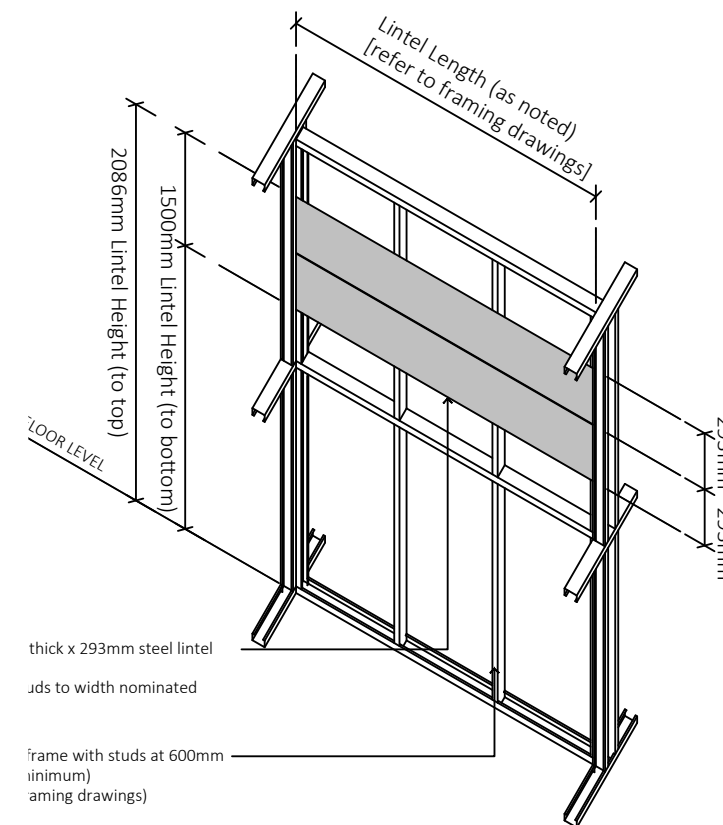
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Edinburgh Parks, S.A. 5111

Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
A.B.N. 97 008 087 278

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Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.



## LINTEL & STORMWATER DETAILS

- Lintel Plate Location - Dryer (if applicable)
- Lintel Plate Heights (from FFL to Lintel Plate Bottom)
    - 1500mm (to bottom)
    - +586mm (two plate heights)
    - 2086mm (to top) (unless noted otherwise)

### TEL NOTES:

- Lintel Plate to extend over one bay of studs (over 2 studs minimum)
- Lintel Plate can extend over more bays to frame
- Lintel Plate MUST always finish and be fixed over a stud

Lintel Plate to be fixed into lintel with 14g self drilling screws

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD05**

Building Consultant:  
**Mary O'Connor**

Scale: **1:20** Date: **2022/11/16** Drawn By: **MN**

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### AMENDMENTS

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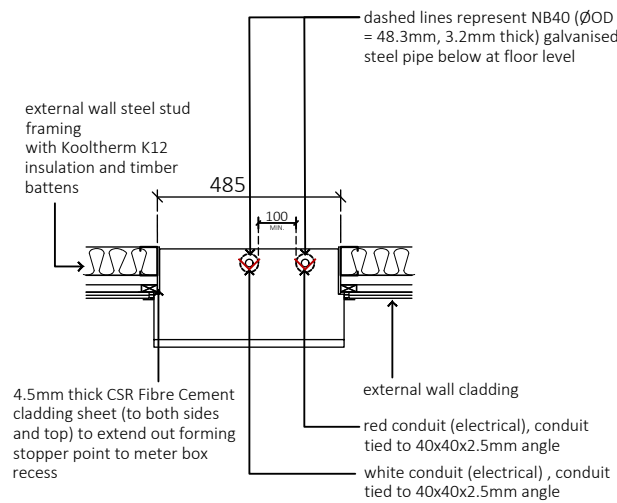
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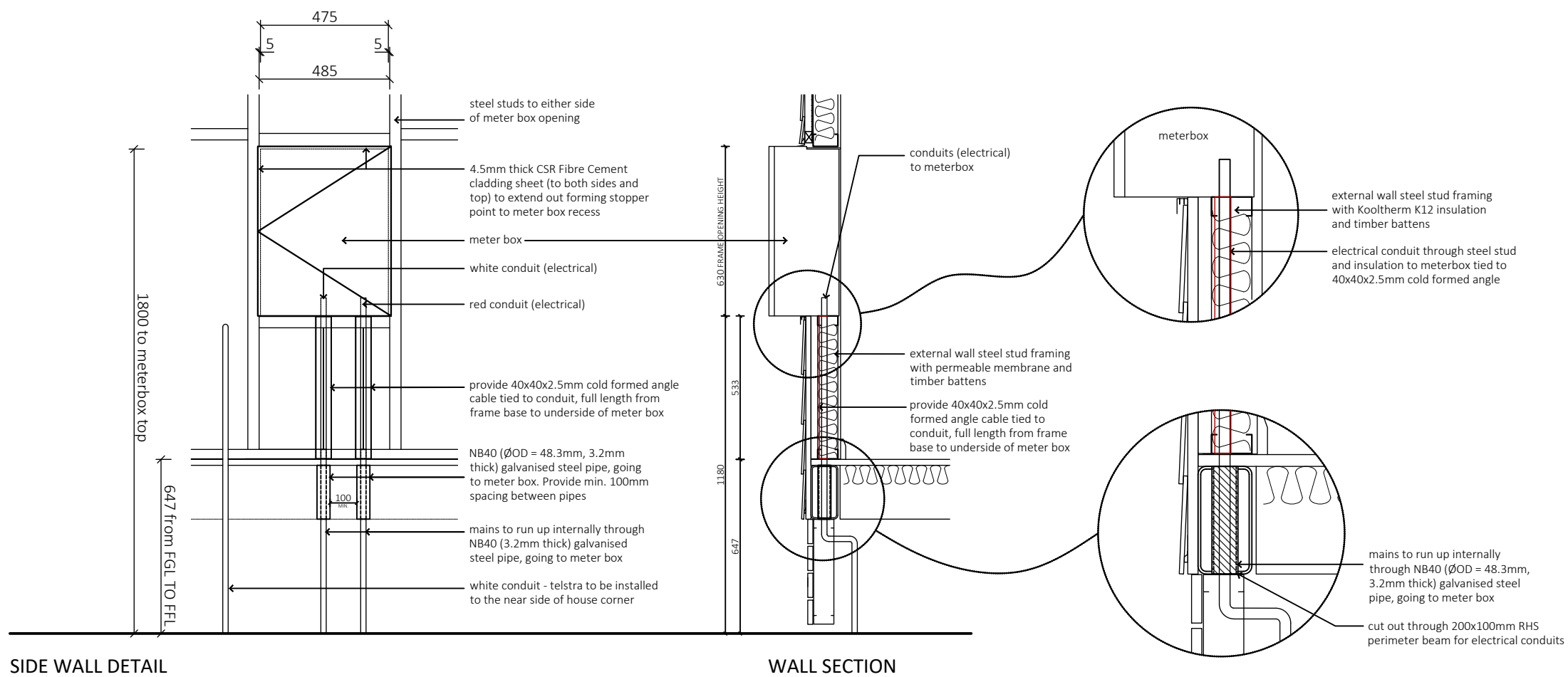
55-61 Karna Avenue  
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Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
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Refer to engineers report for all structural elements.



PLAN DETAIL



SIDE WALL DETAIL

WALL SECTION

## METERBOX (TYPE 1) DETAIL (75mm STUD + 25mm K12 Kooltherm insulation + 19mm TIMBER BATTENS)

Scale 1:20

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD06**

### METERBOX DETAILS

Building Consultant:  
**Mary O'Connor**

Scale: **1:20** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **13** Total Sheets: **19** Checked By: **HL**

### AMENDMENTS

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 .....

DATE :

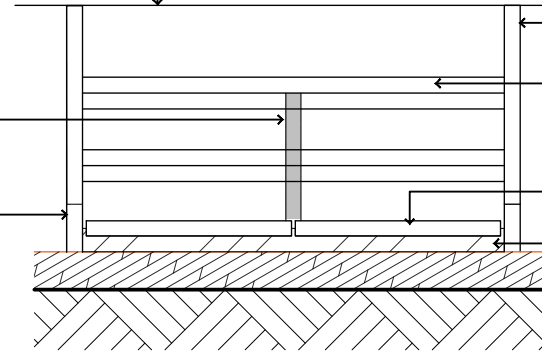
nominated decking material as  
 nominated in specification

steel flooring system as specified  
 (refer to framing and engineering)

nominated decking material as  
 nominated in specification

where steps are wider than 1200mm  
 240x42mm hardwood stringers required  
 to centre of steps or evenly spaced if  
 needed

240x42mm hardwood stringer notched  
 into newell post



240x42mm hardwood stringers  
 240x42mm (min) hardwood treads  
 (190mm maximum riser height)  
 with 42x32mm hardwood battens under  
 step nosing  
 pavers (by owner)  
 compacted fill to bring pavers  
 upto correct riser height  
 (by owner after handover)

concrete pad  
 12mm dia x 300mm steel pin  
 into pad and stringer

240 240

where steps are wider than 1200mm  
 240x42mm hardwood stringers required  
 to centre of steps or evenly spaced if  
 needed

riser (190mm max.)  
 647

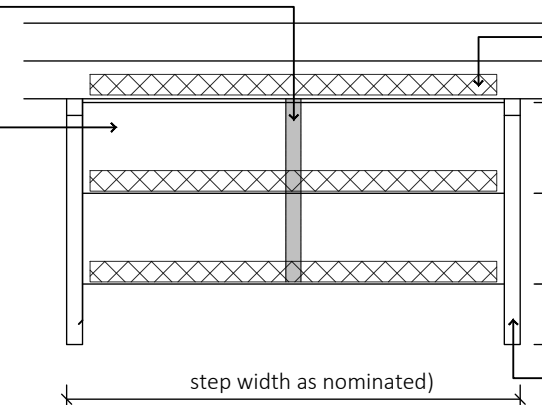
FRONT ELEVATION

SECTION ELEVATION

nominated decking material as  
 nominated in specification

where steps are wider than 1200mm  
 240x42mm hardwood stringers required  
 to centre of steps or evenly spaced if  
 needed

240x42mm (min) hardwood treads  
 (190mm maximum riser height)  
 with 42x32mm hardwood battens under  
 step nosing



anti-slip tap  
 (refer to separate detail)

240  
 240  
 650

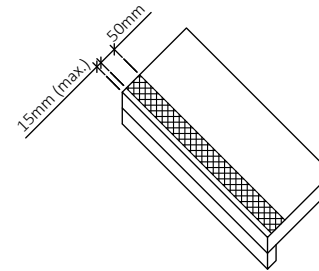
step width as nominated

240x42mm hardwood stringers

PLAN

TYPICAL STEP DETAIL

Scale Not to Scale



- ANTI-SLIP NOTES:
- STAIR TREAD TO HAVE SLIP RESISTANT FINISH WITH A SLIP RESISTANT CLASSIFICATION OF AT LEAST P4 OR R11
  - SLIP RESISTANT NOSING STRIPS WITH A RESISTANT CLASSIFICATION OF AT LEAST P4
  - ANIT-SLIP TAPE (18Mx50mm WITH 30% CONTRAST FROM TREAD) TO BE INSTALLED ON TREADS (15mm MAXIMUM BACK FROM EDGE)
  - TAPE AND INSTALLATION TO COMPLY WITH AS1428.1-2009 AND TO BCA PART 3.9.1.4
  - OWNER TO MAINTAIN COMPLIANCY DUE TO WEAR OF TAPE

ANTI-SLIP TAPE DETAIL

Not to Scale



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 Edinburgh Parks, S.A. 5111

Ph: (08) 8282 7272  
 PO Box 6067, Burton, S.Aust. 5110  
 A.B.N. 97 008 087 278

All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1 Roof Pitch subject to +/- 1 degree tolerance Refer to engineers report for all structural elements.

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091  
 42 Adams st, Wilcannia  
 NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **SD07**

**TYPICAL STEPS DETAILS**

Building Consultant:  
**Mary O'Connor**

Scale: **NTS** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **14** Total Sheets: **19** Checked By: **HL**

**AMENDMENTS**

| Rev | Date       | Description                                     | By |
|-----|------------|---|----|
| A   | 07/11/2022 | Initial Working Drawings (Preliminary drawings) | MN |
| B   | 16/11/2022 | Amendments as per clients request               | MN |
| C   | 23/11/2022 | Minor dimension update for clarity              | HL |

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# FINAL PLANS

CLIENT :

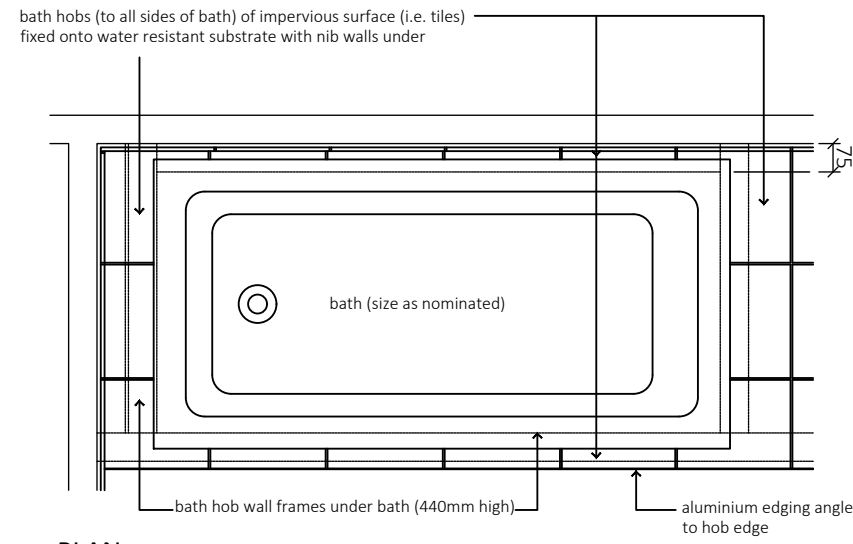
DATE :



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Edinburgh Parks, S.A. 5111

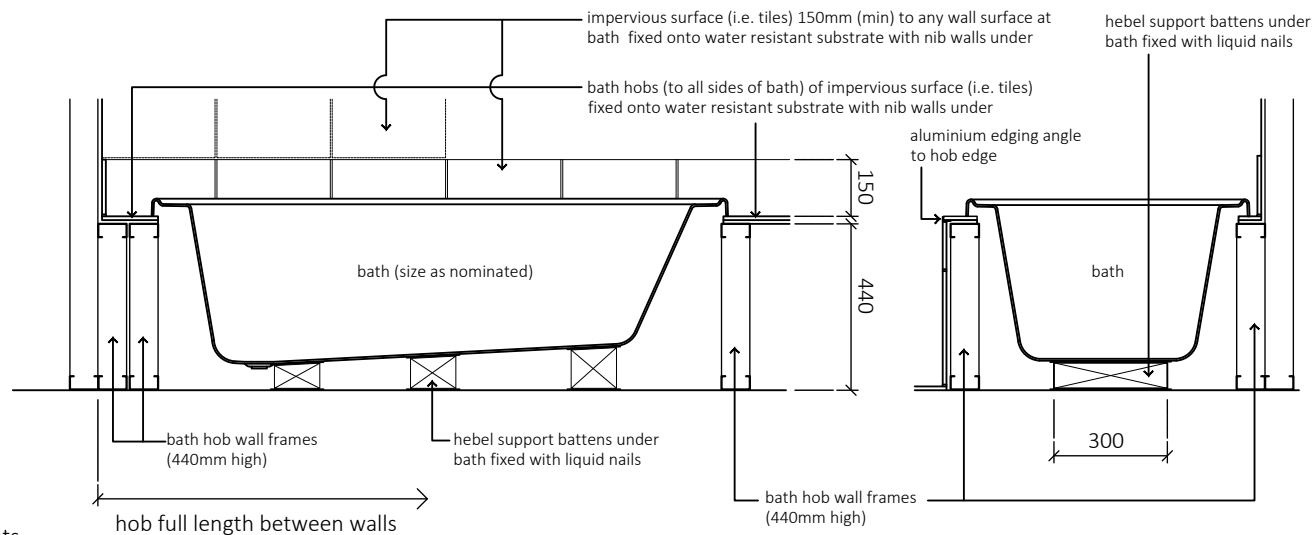
Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
A.B.N. 97 008 087 278

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Roof Pitch subject to +/- 1 degree tolerance  
Refer to engineers report for all structural elements.



PLAN

NOTE:  
- refer to bath suppliers installation guides for recommended bath installation requirements  
- size of hobs may vary pending on bath and hob design

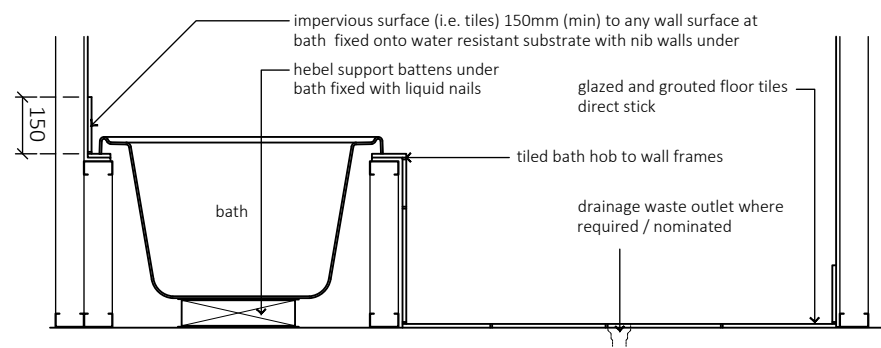


SECTION ALONG BATH

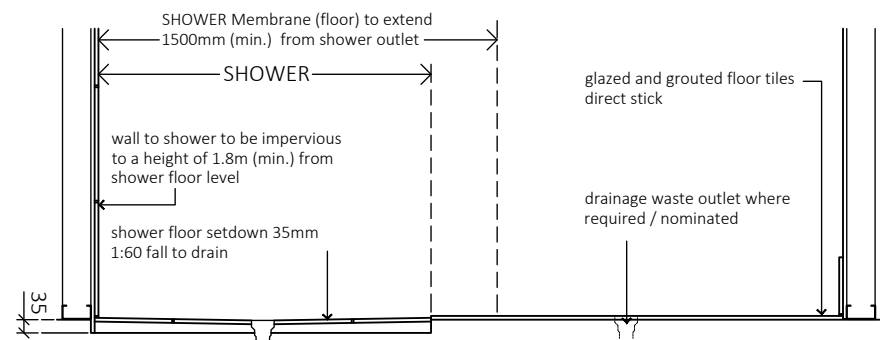
SECTION ACROSS BATH

## BATH WITH SURROUND TILED HOB DETAIL

Scale 1:20



TILING TO BATHROOM WITH BATH AND HOB  
DIRECT STICK FLOOR TILING TO MAIN (TYPICAL)



TILING TO BATHROOM WITH SHOWER (35mm SETDOWN)  
DIRECT STICK FLOOR TILING TO MAIN (TYPICAL)

Client:  
Master Building Group Pty Ltd

Address:  
Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836

Job Number: 580004 Rev: B Drawing No: WA01

### BATH & HOB DETAILS

Building Consultant:  
Mary O'Connor

Scale: 1:20 Date: 2022/11/16 Drawn By: MN

Sheet Size: A3 Sheet No: 15 Total Sheets: 19 Checked By: HL

### AMENDMENTS

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DATE :

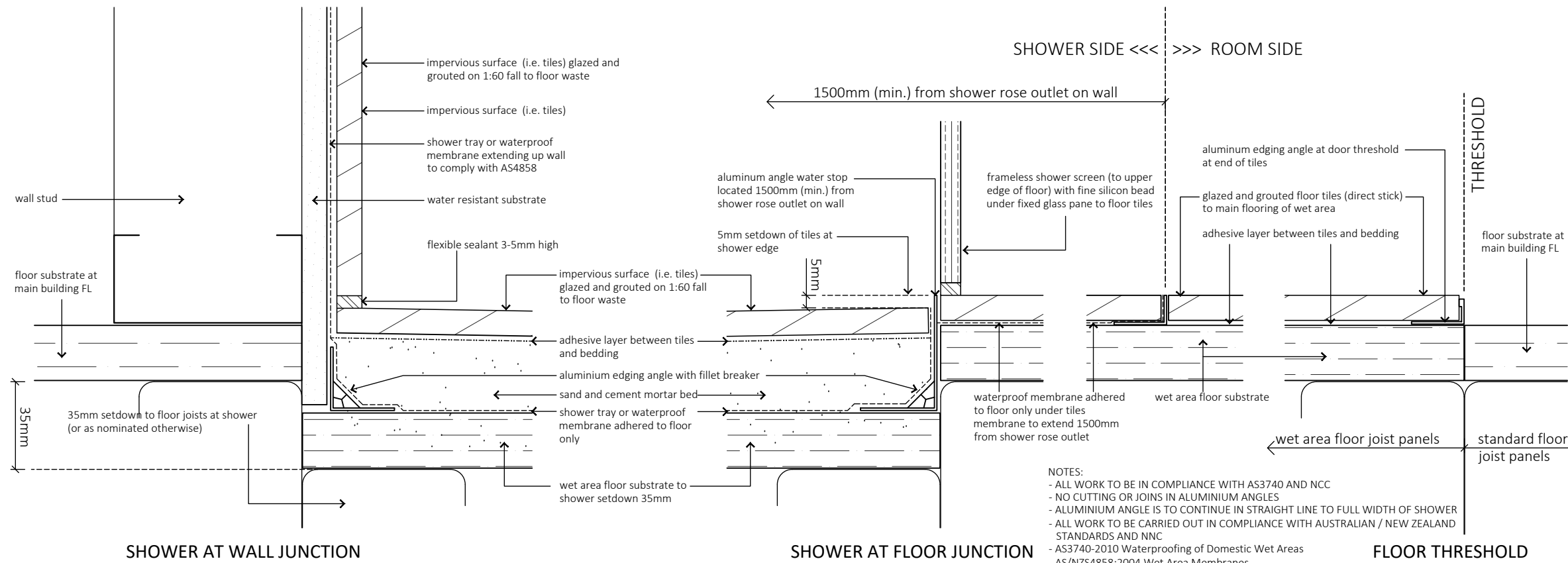
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 Roof Pitch subject to +/- 1 degree tolerance  
 Refer to engineers report for all structural elements.



**HOBLESS SHOWER with 35mm FLOOR SETDOWN DETAIL**  
 Scale 1:2

Client:  
**Master Building Group Pty Ltd**

Address:  
**Lot 42 DP 759091**  
**42 Adams st, Wilcannia**  
**NSW 2836**

Job Number: **580004**      Rev: **B**      Drawing No: **WA02**

**HOBLESS SHOWER DETAILS**

Building Consultant:  
**Mary O'Connor**

Scale: **1:2**      Date: **2022/11/16**      Drawn By: **MN**

Sheet Size: **A3**      Sheet No: **16**      Total Sheets: **19**      Checked By: **HL**

**AMENDMENTS**

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# FINAL PLANS

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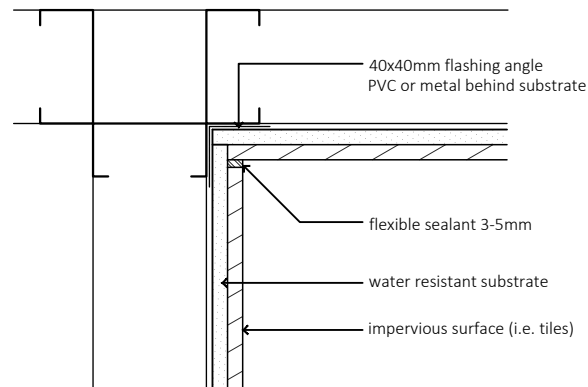
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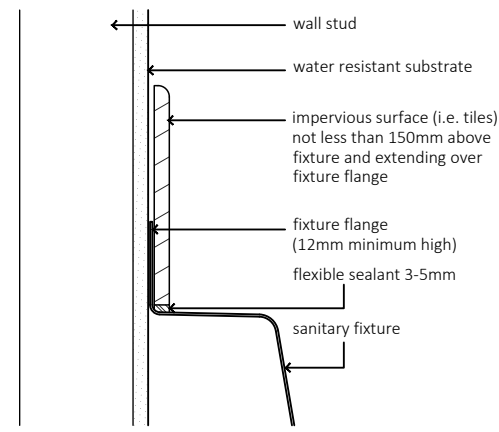
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Ph: (08) 8282 7272  
PO Box 6067, Burton, S.Aust. 5110  
A.B.N. 97 008 087 278

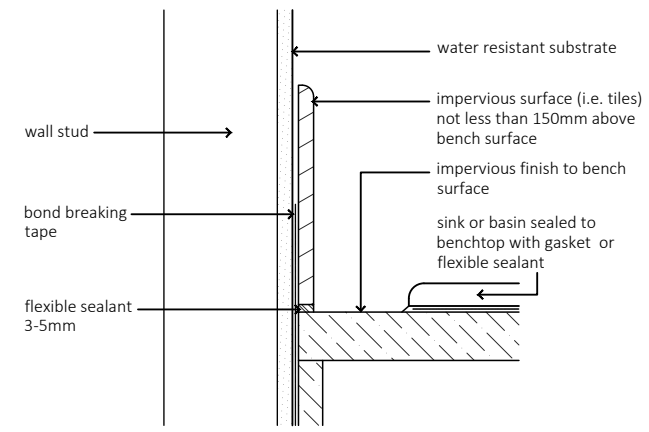
All steel framing to be in compliance with Australian Standards AS4600 or NASH Standard Part 1 Roof Pitch subject to +/- 1 degree tolerance Refer to engineers report for all structural elements.



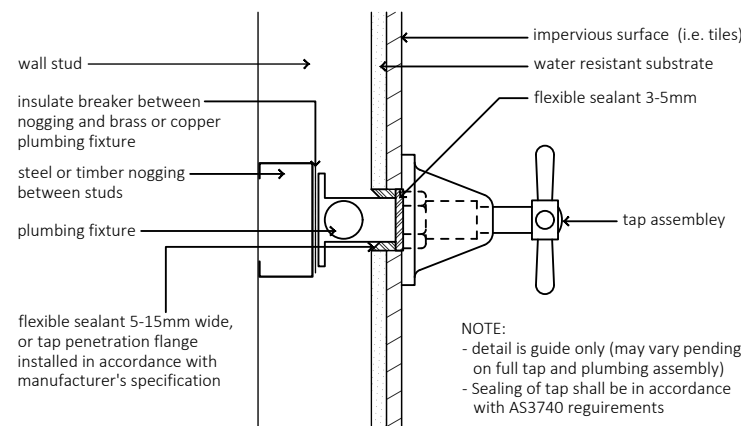
**WALL CORNER JUNCTION PLAN**



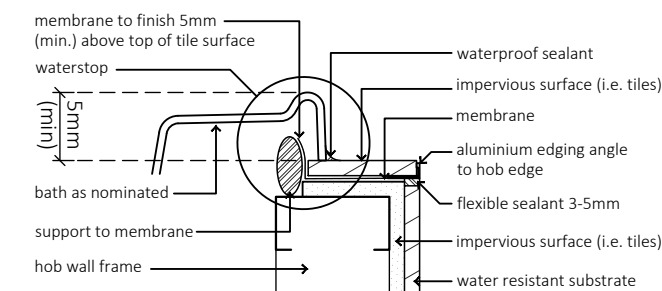
**SANITARY FIXTURES ABUTTING WALLS DETAIL**



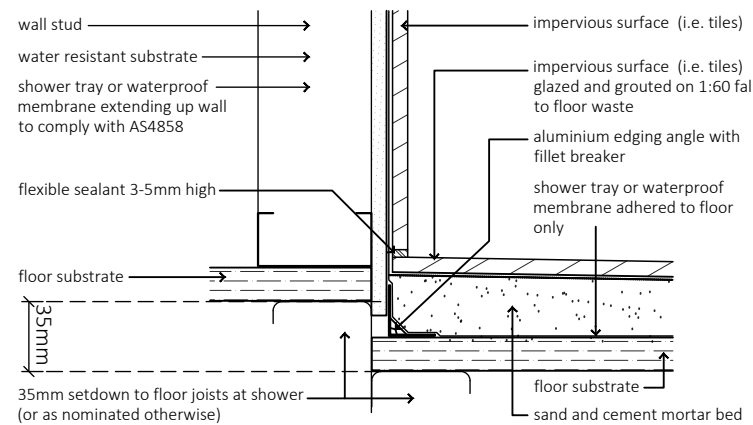
**WALL AND BENCHTOP JUNCTION WITH INSET FEATURE DETAIL**



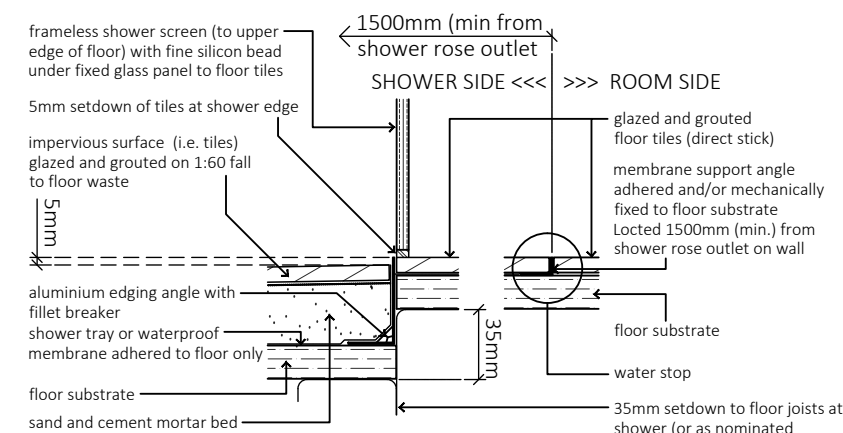
**PENETRATIONS THROUGH WALLS DETAIL**



**BATH AND HOB DETAIL**



**SHOWER AT WALL DETAIL (35mm SETDOWN TO SHOWER)**



**SHOWER AT FLOOR JUNCTION DETAIL (35mm SETDOWN TO SHOWER)**

**WET AREA NOTES :**

To comply with AS3740-2010 (materials, design and installation ) and B.C.A. Table 3.8.1.1 (waterproof or water resistant wall and floor requirements and B.C.A. Clauses SA 3.8.1.2 and SA 3.2.2 (floor wastes and B.C.A. P2.4.1 SHOWER AREA (Cat.1)

35mm setback to shower area only (unless nominated otherwise)

FLOOR - impervious with shower tray or wet area membrane to comply with AS4858

DRAINAGE - 1:60mm grade fall to shower trap  
WALLS - Impervious surface to walls to be extended 1800mm minimum above finished shower level

**BATH and LAUNDRY**

No lip to doorways

FLOOR - impervious tiling

Where floor joists are 35mm below main floor, timber packers to be added to support main wet area floor over DRAINAGE - where tiling is direct stick on impervious floor sheeting or similar approved flooring as specified

Waste traps to floors if required

**WC (SEPERATE ROOM)**

FLOOR - impervious

DRAINAGE - no requirement

Where screeded fall occurs, a 1:80 graded fall on flooring to be of impervious floor sheeting or similar approved flooring as specified

**BATHS CONTAINING WC**

FLOOR - impervious

DRAINAGE - no requirement or unless nominated otherwise

Where screeded fall occurs, a 1:80 graded fall to shower waste (or separate floor trap if nominated) on flooring to be of impervious floor sheeting or similar approved flooring as specified

WALLS - Impervious surface to walls to 1200mm minimum above finished floor level

**WET AREA DETAILS - GENERAL**

Not to Scale

Client: **Master Building Group Pty Ltd**

Address: **Lot 42 DP 759091  
42 Adams st, Wilcannia  
NSW 2836**

Job Number: **580004** Rev: **B** Drawing No: **WA03**

**WET AREA DETAILS**

Building Consultant: **Mary O'Connor**

Scale: **NTS** Date: **2022/11/16** Drawn By: **MN**

Sheet Size: **A3** Sheet No: **17** Total Sheets: **19** Checked By: **HL**

**AMENDMENTS**

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CLIENT :

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DATE :

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Ph: (08) 8282 7272  
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 Roof Pitch subject to +/- 1 degree tolerance  
 Refer to engineers report for all structural elements.

### EXTERNAL FITTING NOTES

- ANY EXTERNAL FITTINGS (POWER POINTS, GAS POINTS, LIGHT FITTINGS etc.) ARE TO BE REMOVED PRIOR TO DELIVERY
- ITEMS WILL STILL BE TAGGED AND TESTED
- ITEMS TO BE REFITTED ON SITE BY CLIENT'S OWN ELECTRICIAN / PLUMBER / GAS FITTER

**FOR  
 OFFICE  
 USE ONLY**

Client:  
 Master Building Group Pty Ltd

Address:  
 Lot 42 DP 759091  
 42 Adams st, Wilcannia  
 NSW 2836

Job Number: 580004 Rev: B Drawing No: EP01

### ELECTRICAL PLAN

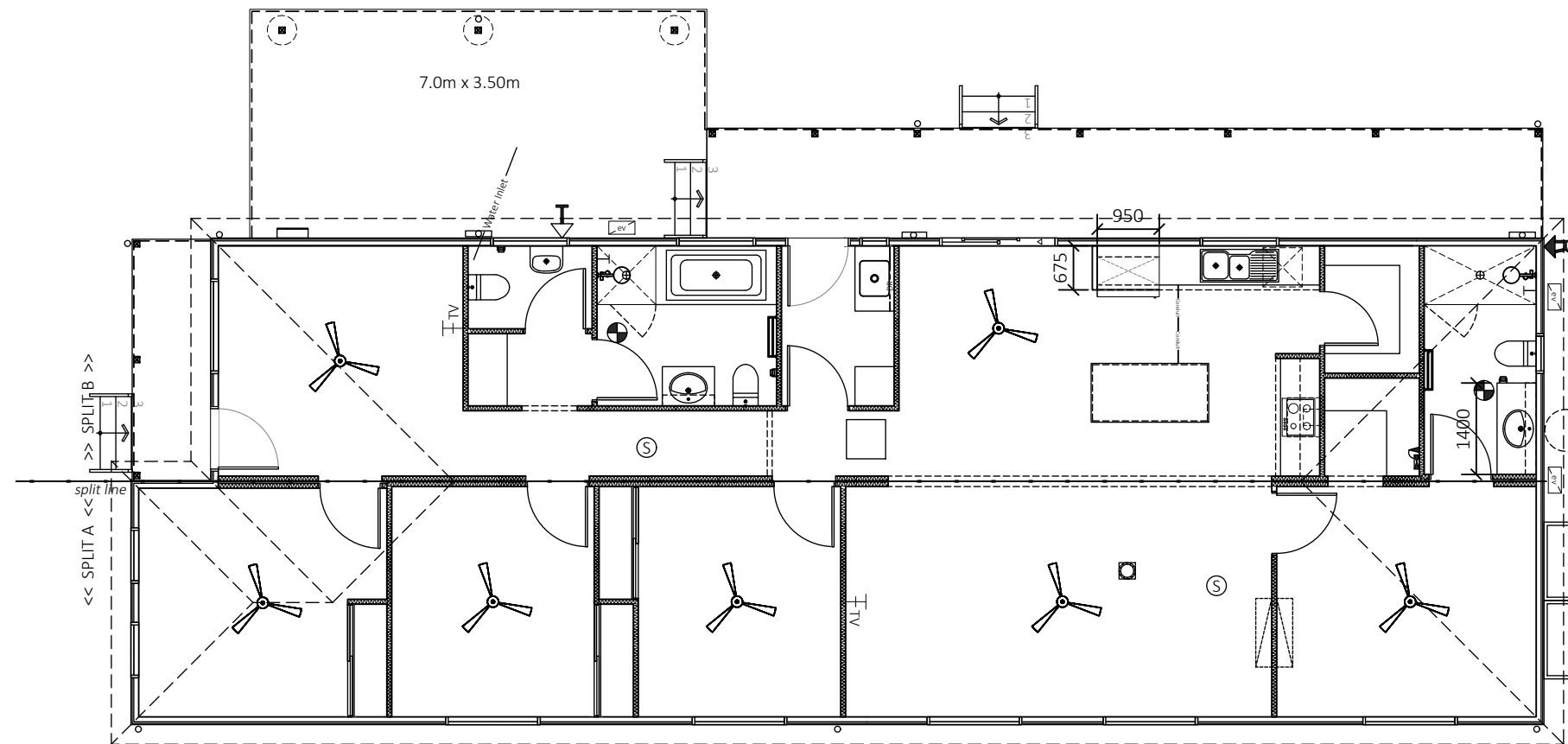
Building Consultant:  
 Mary O'Connor

Scale: 1:100 Date: 2022/11/16 Drawn By: MN

Sheet Size: A3 Sheet No: 18 Total Sheets: 19 Checked By: HL

### AMENDMENTS

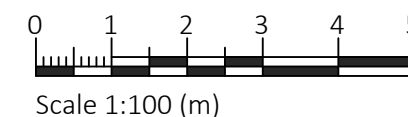
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\* PROVIDE 3No. ADDITIONAL WEATHERPROOF EXTERNAL BATTEN HOLDER (HPM360) LIGHT POINT WITH GLOBE  
 \* PROVIDE ISOLATOR SWITCH FOR FUTURE SOLAR

|                      |                          |                                      |                                  |                          |
|----------------------|--------------------------|--------------------------------------|----------------------------------|--------------------------|
| ○ light point        | ⊙ smoke alarm            | ☐ phone point                        | ▽ <sub>DW</sub> dishwasher       | ✕ ceiling fan            |
| ⊕ 2-way              | ⊖ exhaust fan            | ▽ single GPO                         | ▽ <sub>RH</sub> rangehood        | ✕ ceiling fan with light |
| ⊕ 3-way              | ⊖ 1x20W fluro (diffused) | ▽ double GPO                         | ▽ <sub>MW</sub> microwave oven   | ☐ 3 light / heater / fan |
| ⊕ DIM dimmer         | ⊖ 1x40W fluro (diffused) | ▽ <sub>11</sub> 1xGPO @ 1100AFL      | ▽ <sub>STV</sub> upright cooker  | ☐ 5 light / heater / fan |
| ⊕ downlight          | ⊖ 2x40W fluro (diffused) | ▽ <sub>11</sub> 2xGPO @ 1100AFL      | ▽ <sub>SPA</sub> spa             | ⊖ TV television point    |
| ⊕ wall mounted light |                          | ▽ <sub>EXT</sub> single External GPO | ▽ <sub>AC</sub> air conditioning |                          |

**ELECTRICAL LEGEND and NOTATION**  
 SMOKE DETECTORS (IN ACCORDANCE WITH SAE1.7) TO BE OF THE IONISATION TYPE AND HAVE HARD WIRED CONNECTION TO 240V AC ELECTRICAL SUPPLY AND HAVE 9V DC BACKUP



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