

# DRAFT ONLY - NOT TO BE CONSTRUCTED



## LOCALITY PLAN.



menindee aerodrome road, menindee

lot 7330, dpi195006

## DRAWING SCHEDULE.

|      |                     |       |                  |
|------|---------------------|-------|------------------|
| A 00 | COVER SHEET         | REV C | DATED 22.02.2022 |
| A 01 | EXISTING SITE PLAN  | REV C | DATED 22.02.2022 |
| A 02 | SITE PLAN           | REV C | DATED 22.02.2022 |
| A 03 | OVERALL SITE PLAN   | REV C | DATED 22.02.2022 |
| A 04 | PROPOSED FLOOR PLAN | REV C | DATED 22.02.2022 |
| A 05 | ELEVATIONS          | REV C | DATED 22.02.2022 |

## PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

**classification - BCA 'part A6'**  
The building has been classified as a 'Class 10a' building - non-habitable

**rise in stories - BCA 'part C1.2'**  
The building has a rise in stories of one.

**effective height - BCA 'schedule 3 definitions'**  
The building has an effective height of zero, ie less than 25.0m.

**type of construction required - BCA 'part A6, part C1.1 - table C1.1'**  
Class 10a building - Type 'C' construction. The building has been deemed 'unconditioned'.

**climate zone - BCA 'schedule 3 definitions'**  
The building is located within climate zone 4.

## GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS1680.0 – Interior lighting - safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

**ISSUED FOR DA DRAFT**

### BARNSON PTY LTD

**address.** Unit 1, 36 Darling Street  
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**phone.** 1300 BARNSON (1300 227 676)  
**email.** generalenquiry@barnson.com.au  
**web.** barnson.com.au

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| Rev. | Date       | Amendment           |
|------|------------|---------------------|
| A    | 26.10.2022 | PRELIMINARY         |
| C    | 22.02.2022 | ISSUED FOR DRAFT DA |

Project:  
**MENINDEE LAKE CAMP KITCHEN**

Site Address:  
**MENINDEE ROAD, MENINDEE, NSW, 2879**

Client:  
**DEPT OF PUBLIC WORK AND SERVICES**

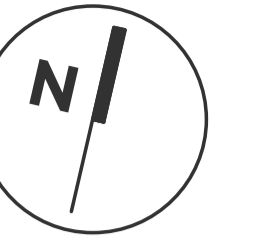
Drawing Title:  
**COVER SHEET**

|             |                   |           |    |
|-------------|-------------------|-----------|----|
| Scale.      | As indicated @ A1 | Drawn.    | CM |
| Sheet.      | 01 of 06          | Checked.  |    |
| Project No. | 040073            | Revision. | C  |

Drawing No.

**040073-  
A00**

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**02 EXISTING SITE LAYOUT**  
Scale 1 : 150 @ A1



**EXISTING SITE LEGEND**

- existing major contours
- - - existing minor contours
- existing buildings & structures
- existing driveways
- overhead electrical lines
- underground water lines
- existing fence line

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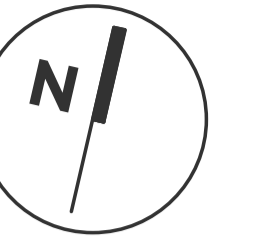
Drawing Title.  
**EXISTING SITE PLAN**

|                          |             |
|--------------------------|-------------|
| Scale. As indicated @ A1 | Drawn. CM   |
| Sheet. 02 of 06          | Checked.    |
| Project No. 040073       | Revision. C |

Drawing No.

**040073-  
A01**

# DRAFT ONLY - NOT TO BE CONSTRUCTED



**03 SITE LAYOUT**  
 Scale 1 : 150 @ A1  
 0 1500 3000 6000 15000

NOTE: refuse bins provided by park

## SITE NOTES.

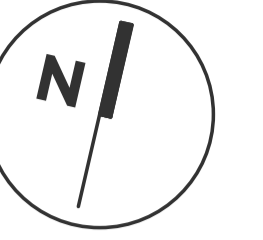
**GENERAL**  
 This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.  
 Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.  
 Contractors must verify all dimensions & existing levels on site prior to commencement of work.  
 Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:  
 - notify a.G.L.  
 - obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.  
 - verify co-axial/optic fibre cable location  
 Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.  
 All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.  
 Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.  
 The contractor shall arrange all survey setout to be carried out by a registered surveyor.

**DRAINAGE**  
 Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage  
 Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.  
 The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

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**04** **OVERALL SITE LAYOUT**  
 Scale 1 : 750 @ A1  
 0 7500 15000 30000 75000

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Client.  
 DEPT OF PUBLIC WORK AND SERVICES

Drawing Title.  
**OVERALL SITE PLAN**

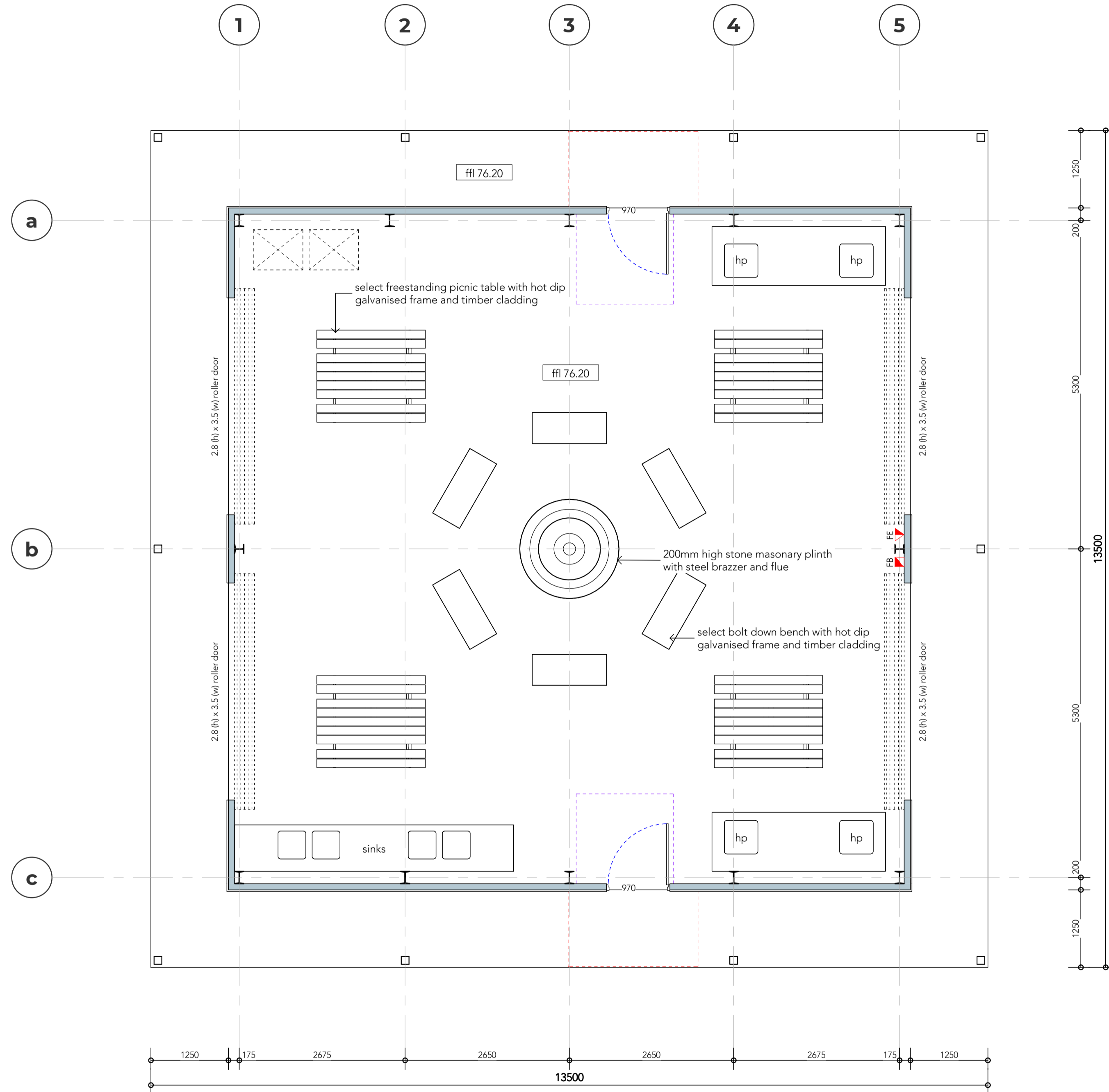
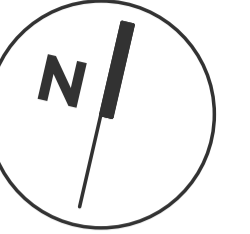
Scale. **As indicated @ A1**  
 Sheet. **04 of 06**

Project No. **040073**

Drawn. CM  
 Checked.  
 Revision. C

Drawing No.

**040073-  
 A03**



**05 FLOOR PLAN - GENERAL ARRANGEMENT**  
 Scale 1: 50 @ A1  
 0 500 1000 2000 5000

**AREA SCHEDULE.**

|                      |                             |
|----------------------|-----------------------------|
| Verandah             | 61.25 m <sup>2</sup>        |
| Camp Kitchen         | 121.00 m <sup>2</sup>       |
| <b>OVERALL TOTAL</b> | <b>182.25 m<sup>2</sup></b> |

- LEGEND.**
- fire blanket
  - fire extinguisher A:B(E) powder type

**FIRE NOTES.**

fire safety measures

*Essential fire safety measures as shown on adjacent plan are as follows:-*

- Fire extinguisher type powder a:b(e) - 1
- Fire blanket - 1

fire services

Portable fire extinguishers & fire blankets to cover class a-e fire risk to be provided in accordance with 'Table E1.6' of the BCA, Vol. 1, 2019, & selected, located & distributed in accordance with sections 1, 2, 3 & 4 of 'AS2444'.

For all portable extinguisher types 'AS2444:2001' allows higher mounting if the unit is likely to be dislodged - refer to the BCA, Vol. 1, 2019 & 'AS2444:2001' for details.

Fire extinguishers & fire blankets shall be clearly identified with the appropriate location sign as per 'AS2444:2001'.

During construction, not less than one fire extinguisher to suit class A, B or C fires is required to be located adjacent to each exit in accordance with the BCA, Vol. 1, Part E1.9.

*Automatic shutdown of the air handling system must be provided in accordance with Table E2.2B, of the BCA, Vol 1 - Appendices, on activation of smoke detectors installed complying with Clause 5 of specification E2.2a of the BCA Vol. 1 2019.*

fire hazard properties

New floor material & coverings to have a max. Critical radiant flux to comply with 'Table 1' of 'Specification C1.10a' of the BCA, Vol. 1, 2019. Must also have a max. Smoke development rate of 750 percent- minutes as specified in 'Specification C1.10a' of the BCA, Vol. 1, 2019. Specified materials are to be confirmed with manufacturer for compliance in this regard.

New wall & ceiling lining materials are to comply with Table 2 of 'Specification C1.10a' of the BCA, Vol. 1, 2019.

New materials & assemblies other than floor materials, floor coverings & wall & ceiling linings are to comply with the fire hazard properties as specified in 'Part C1.10' of the BCA, Vol. 1, 2019.

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Drawing Title:  
**PROPOSED FLOOR PLAN**

Scale: **As indicated @ A1** Drawing: **CM**

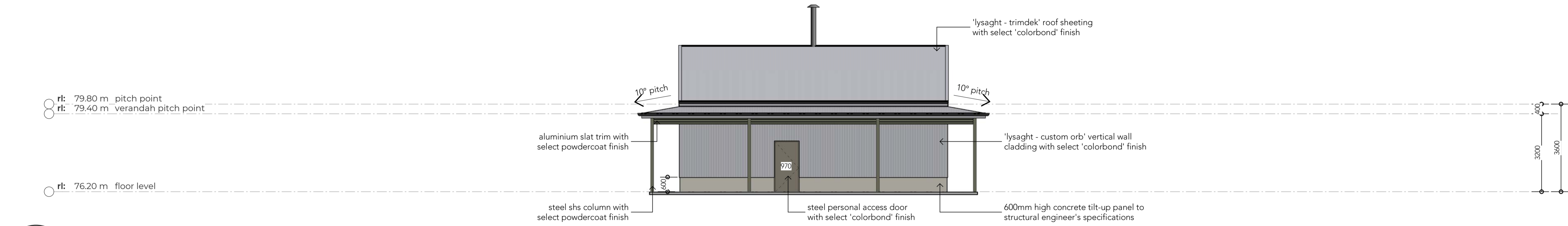
Sheet: **05 of 06** Checked:

Project No. **040073** Revision: **C**

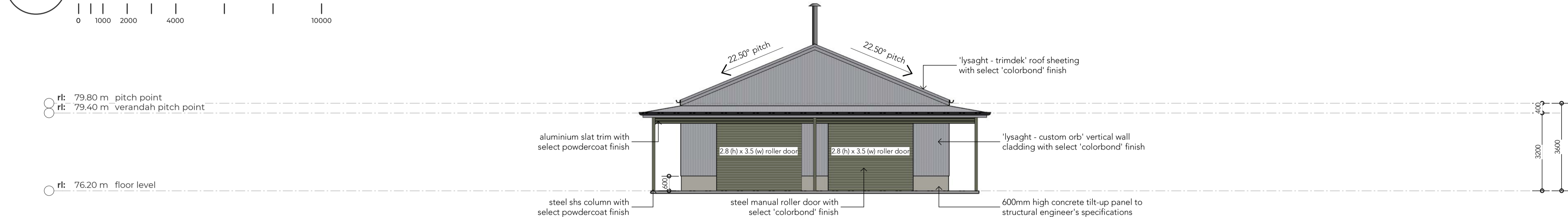
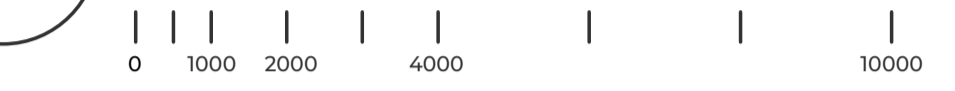
Drawing No.

**040073-**  
**A04**

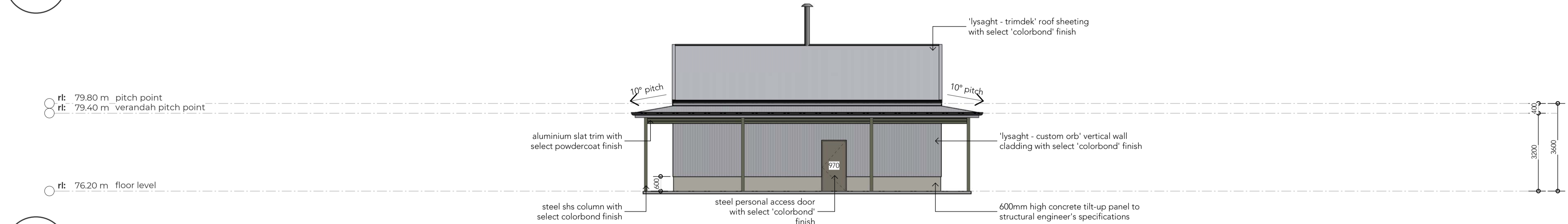
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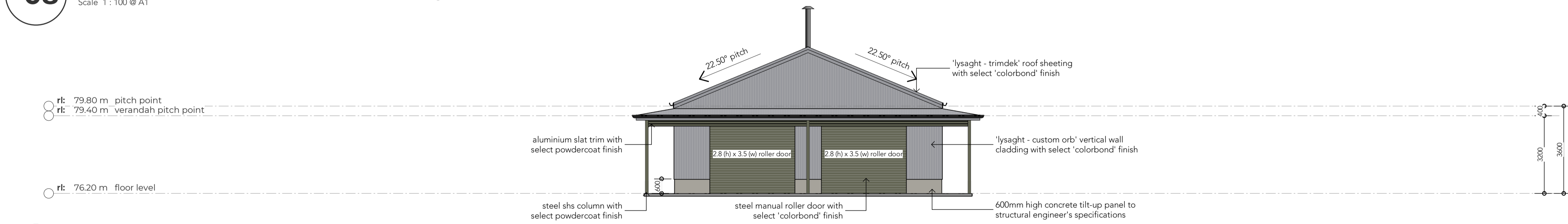
**06 ELEVATION. NORTH FACADE**  
Scale 1 : 100 @ A1



**07 ELEVATION. EAST FACADE**  
Scale 1 : 100 @ A1



**08 ELEVATION. SOUTH FACADE**  
Scale 1 : 100 @ A1



**09 ELEVATION. WEST FACADE**  
Scale 1 : 100 @ A1

LEGEND

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Site Address: **MENINDEE ROAD, MENINDEE, NSW, 2879**

Client: **DEPT OF PUBLIC WORK AND SERVICES**

Drawing Title: **ELEVATIONS**

Scale: **1 : 100 @ A1**

Sheet: **06 of 06**

Project No. **040073**

Drawn: **CM**

Checked: **C**

Revision: **C**

Drawing No.

**040073-  
A05**