

**to.**

**General Manager**  
**Central Darling Shire Council**  
Att: Glenda Dunn  
PO Box 165  
Wilcannia, New South Wales 2836

**date.**

23.03.2023

**reference.**

40073-PL01\_A

Dear Glenda,

**Re: Section 4.55(1A) Modification to DA 23/21 – BBQ Kitchen Facilities**  
**Site: Menindee Lakes Caravan Park (Lot 7330 DP 1195006)**

Reference is made to the proposed Section 4.55(1A) modification for DA 23/21 to be lodged with Central Darling Shire Council. The following information should be considered with the assessment of the subject modification.

### Background

Barnson Pty Ltd has been engaged by Public Works Advisory to prepare information in support of a Section 4.55(1A) modification to DA23/21. The subject application gave consent to the construction of a BBQ kitchen structure at the Menindee Lakes Caravan Park (Lot 7330 DP 1195006).

The proposed modification relates to:

- Amendments to the architectural design of the BBQ Kitchen Facility

The proposed development as modified would remain substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified.

### Existing Environment

The existing environment shall not be altered by the proposed modification.

### Existing Approval

Development consent for D23/21 was granted on the 21<sup>st</sup> of February 2022 for the construction of a BBQ kitchen structure within the Menindee Lakes Caravan Park (Lot 7330 DP 1195006).

The original development consent and stamped plans has been provided in **Attachment A** of this supporting letter.

## Proposed Modification

Further discussion on the proposed modification items follows:

- *The architectural design of the BBQ Kitchen Facility*

The proposed BBQ Kitchen design is proposed to change; however, the intended building curtilage shall remain in the same location. The new proposed design of the development includes the following attributes:

- o 13.5m x 13.5m footprint (approximately 182.25m<sup>2</sup>);
- o Four (4) select freestanding picnic table's with hot dip galvanised frame and timber cladding;
- o Six (6) select bolt down benches with hot dip galvanised frame and timber cladding;
- o Four (4) 2.8 (h) x 3.5 (w) manual roller doors;
- o Two (2) PA doors;
- o 200mm high stone masonry plinth with steel brazer and flue
- o 'lysaght – custom orb' vertical wall cladding with select 'colourbond' finish
- o 600mm high concrete tilt-up panel
- o 'lysaght – trimdek' roof sheeting with select 'colorbond' finish

The scale of the development remains in keeping with that originally approved.

Please refer to **Attachment B** for the amended architectural and site plans.

## Planning Considerations

### *Crown Development*

Given the applicant (Public Works Advisory), and land owner (Department of Planning, Industry, and Environment) are considered to be a Crown authority, the application should be dealt with as a Crown development in accordance with Division 4.6 of the *Environmental Planning and Assessment Act 1979*, and relevant clauses of the *Environmental Planning and Assessment Regulation 2021*.

### *Central Darling Local Environmental Plan 2012*

The subject site is within RE2 – Private Recreation and RU1 Primary Production zoned land pursuant to the *Central Darling Local Environmental Plan 2012*. The proposed development is occurring wholly within the RE2 Zoned Land. The development is considered permissible with consent (supporting an existing Caravan Park) and is consistent with the zone objectives, as it is compatible with the existing environmental and built character of the Menindee Lakes Caravan Park.

### *Development Control Plan*

The Central Darling Shire currently does not have a Development Control Plan in force for the site and it's surrounds.

### **General**

Bushfire Prone Land – the subject site is located within Vegetation Category 3 bush fire prone land. The proposed development is to be located within a well-maintained area in close proximity to water tanks to safeguard against the event of a bushfire.

The modified kitchen facility remains supportive of the Menindee Caravan Park and is intended to cater for a similar number of guests. The potential demand imposed by the proposed facility is similar in nature to that originally approved.

The proposed modification poses minimal environmental impact and the changes between the approved development and modified development are minor, therefore rendering the proposed development as modified substantially the same development as that originally approved.

### **Conclusion**

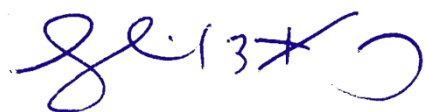
The existing Menindee Lakes Caravan Park requires a replacement of a BBQ Kitchen Facility with the existing kitchen facility being recently demolished. The modified application is intended to better represent the proposed operation at the site.

It is recommended that the proposed modification to D 23/21 be supported as the development as modified would be substantially the same development as the development for which consent was originally granted.

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully,

BARNSON PTY LTD



Jim Sarantzouklis, MAIBS (Assoc.) MEHA MAICD RPIA

DIRECTOR

## Attachment A – Original Consent & Stamped Plans



# CENTRAL DARLING SHIRE COUNCIL

21 February 2022

Ms Deena Robinson  
Department of Planning and Environment  
Crown Lands  
1/45 Wingewarra Street  
DUBBO NSW 2830  
[deena.robinson@crowland.nsw.gov.au](mailto:deena.robinson@crowland.nsw.gov.au)

## **NOTICE OF DETERMINATION - APPROVAL** **APPLICATION NO: D 23/21 – PAN 178589**

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Dear Ms Deena Robinson,

Please find enclosed the Notice of Determination and advisory notes relating to your development application D23/21 PAN 178589, for Lot 7330 DP1195006 Menindee Aerodrome Rd, Menindee NSW 2879.

A copy of the development application delegated assessment report can be viewed online at the Central Darling Shire Council website-  
<https://www.centraldarling.nsw.gov.au/planning/development-applications>.

If further information is required, please contact **Glenda Dunn ph. 08 8083 8900,**  
**email - [dunnq@centraldarling.nsw.gov.au](mailto:dunnq@centraldarling.nsw.gov.au).**

Yours faithfully

Reece Wilson  
Director Environmental Services  
**Central Darling Shire Council**



## NOTICE OF DETERMINATION - APPROVAL

Issued under Section 4.16(1)(a) of the Environmental Planning and Assessment Act 1979

<b>Development Application No.</b>	D23/21- PAN 178589
<b>Applicant</b>	Crown lands- Deena Robinson
<b>Land to be developed</b>	Lot 7330 DP1195006 Menindee Aerodrome Rd Menindee
<b>Approved development</b>	D16/21- PAN 124243  Construction of a BBQ kitchen structure within the Menindee Lakes Caravan Park.
<b>Cost of development</b>	\$250,000.00
<b>Determination</b>	The application was determined under delegation of Council and was granted consent <b>subject to the conditions.</b>
<b>Other Approvals</b>	Before commencing <i>building work</i> or <i>subdivision work</i> , a relevant Construction Certificate must be obtained from Council or an Accredited Certifier. Council must be appointed the Principal Certifier for any <i>subdivision work</i> under the Act.
<b>Consent is to operate from</b>	21 February 2022
<b>Consent will lapse on</b>	22 February 2027

### Reasons for conditions

Unrestricted consent may affect the environmental amenity of the area and would not be in the public interest. The conditions also ensure statutory and regulatory compliance for all construction and site work, and compliance with the National Construction Code – Building Code of Australia.

### Reasons for Approval

1. The development, subject to conditions, is consistent with the objectives of the RE2 Private Recreation zone.
2. The development is compatible with the character of the Menindee Lakes Caravan Park and locality that is adjacent to the Menindee Lakes area; and
3. The development, subject to conditions, for the erection BBQ kitchen structure/ building and the associated site works; and
4. The development accords with objectives of relevant planning controls.



**CENTRAL DARLING  
SHIRE COUNCIL**

**Right of appeal**

If you are dissatisfied with this decision, Section 8.7 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within six (6) months of the date of this notification.

Division 8.2 of the Environmental Planning and Assessment Act 1979 provides that the applicant may request the Council to review the determination.

Division 8.2 does not apply to complying development, designated development, integrated development, or a determination made by Council under Division 4.2 in respect of Crown applications.

If further information is required, please contact Glenda Dunn ph. 08 8083 8900, email - [dunnq@centraldarling.nsw.gov.au](mailto:dunnq@centraldarling.nsw.gov.au).

A handwritten signature in black ink, appearing to read 'Reece Wilson', is written over a light yellow rectangular background.

Reece Wilson  
Director Environmental Services  
**Central Darling Shire Council**



## **CONDITIONS OF CONSENT**

### **SCHEDULE 1A**

#### **APPROVED DEVELOPMENT/ DESIGN MODIFICATIONS/ COVENANTS AND CONTRIBUTIONS/ USE AND OPERATION**

**Note:** Some conditions in Schedule 1A are to be satisfied prior to issue of a Construction Certificate and some are to be satisfied prior to issue of Occupation Certificate, where indicated.

#### **APPROVED DEVELOPMENT**

- (a) Development must be in accordance with Development Application No. D23/21 PAN 178589, Lot 7330 DP1195006 Menindee Aerodrome Rd, Menindee NSW 2879, for the construction of a BBQ structure within the Menindee Lakes Caravan Park, the drawings as amended by the conditions of this consent.
- (b) In the event of any inconsistency between the approved plans and supplementary documentation, the plans and consent condition documents will prevail.

#### **PRESCRIBED CONDITIONS**

- (a) All building works must be carried out in accordance with the requirements of the Building Code of Australia (BCA).
- (b) BASIX affected development must comply with the schedule of BASIX commitment specified within the submitted BASIX Certificate (demonstrated compliance upon plans/specifications is required prior to the issue of the Construction Certificate);
- (c) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
  - (i) showing the name, address and telephone number of the Principal Certifying Authority for the work, and
  - (ii) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
  - (iii) stating that unauthorised entry to the work site is prohibited.Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- (d) Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:
  - (i) in the case of work for which a principal contractor is required to be





appointed:

- A. the name and licence number of the principal contractor, and
  - B. the name of the insurer by which the work is insured under Part 6 of that Act,
- (ii) in the case of work to be done by an owner-builder:
- A. the name of the owner-builder, and
  - B. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.

- (e) Development that involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
- (i) protect and support the adjoining premises from possible damage from the excavation, and
  - (ii) where necessary, underpin the adjoining premises to prevent any such damage.
  - (iii) must, at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
  - (iv) the owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this clause, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

In this clause, allotment of land includes a public road and any other public place.

Reason: Legislative requirement.

## **SCHEDULE 1B - GENERAL REQUIREMENTS**

- (a) Unless authorised by Council:  
Building construction and delivery of material hours are restricted to:
- 1 7.00 am to 5.00 pm inclusive Monday to Friday,
  - 1 8.00 am to 1.00 pm inclusive on Saturday,
  - 1 No work on Sundays and Public Holidays.

Demolition and excavation works are restricted to:

- 1 8.00 am to 5.00 pm Monday to Friday only.

(Excavation work includes the use of any excavation machinery and the use of jackhammers, rock breakers, excavators, loaders and the like, regardless of whether the activities disturb or alter the natural state of the existing ground)



- stratum or are breaking up/removing materials from the site).
- (b) Should any asbestos be uncovered on site, its demolition and removal must be carried out in accordance with WorkCover requirements and the relevant Australian Standards.
  - (c) At all times after the submission the Notice of Commencement to Council, a copy of the Development Consent and Construction Certificate is to remain onsite at all times until the issue of a final Occupation Certificate. The consent shall be available for perusal of any Authorised Officer.
  - (d) Where demolition works have been completed and new construction works have not commenced within 4 weeks of the completion of the demolition works that area affected by the demolition works shall be fully stabilised and the site must be maintained in a safe and clean state until such time as new construction works commence.
  - (e) Onsite toilet facilities (being either connected to the sewer or an accredited sewer management facility) for workers are to be provided for construction sites at a rate of 1 per 20 persons.
  - (f) Prior to the release of the Construction Certificate, payment of the Long Service Levy is required. This payment can be made at Council or to the Long Services Payments Corporation. Payment is not required where the value of the works is less than \$25,000. The Long Service Levy is calculated on 0.35% of the building and construction work. The levy rate and level in which it applies is subject to legislative change. The applicable fee at the time of payment of the Long Service Levy will apply.
  - (g) The applicant shall bear the cost of all works associated with the development that occurs on Council's property.
  - (h) No skip bins, building materials, demolition or excavation waste of any nature, and no hoist, plant or machinery (crane, concrete pump or lift) shall be placed on Council's footpaths, roadways, parks or grass verges without Council Approval.
  - (i) Demolition materials and builders' wastes are to be removed to approved waste/recycling centres.
  - (j) No trees or native shrubs or understorey vegetation on public property (footpaths, roads, reserves, etc.) or on the land to be developed shall be removed or damaged during construction unless specifically approved in this consent including for the erection of any fences, hoardings or other temporary works.
  - (k) Prior to the commencement of any development onsite for:
    - i) Building/s that are to be erected
    - ii) Building/s that are situated in the immediate vicinity of a public place and is dangerous to persons or property on or in the public place
    - iii) Building/s that are to be demolished
    - iv) For any work/s that is to be carried out
    - v) For any work/s that is to be demolished

The person responsible for the development site is to erect or install on or around the development area such temporary structures or appliances (wholly within the development site) as are necessary to protect persons or property and to prevent unauthorised access to the site in order for the land or premises to be maintained in a safe or healthy condition. Upon completion of the



development, such temporary structures or appliances are to be removed within 7 days.

- (l) A "Road Opening Permit" must be obtained from Council, and all appropriate charges paid, prior to commencement of any work on Council property. The owner/applicant shall be responsible for all public utilities and services in the area of the work, shall notify all relevant Authorities, and bear all costs associated with any repairs and/or adjustments as those Authorities may deem necessary.
- (m) The works must comply with the relevant Ausgrid Network Standards and SafeWorkNSW Codes of Practice.
- (n) Requirements for new swimming pools/spas or existing swimming pools/spas affected by building works.
  - (1) Child resistant fencing is to be provided to any swimming pool or lockable cover to any spa containing water and is to be consistent with the following;

Relevant legislative requirements and relevant Australian Standards (including but not limited) to:

- (i) Swimming Pools Act 1992
  - (ii) Swimming Pools Amendment Act 2009
  - (iii) Swimming Pools Regulation 2018
  - (iv) Australian Standard AS1926 Swimming Pool Safety
  - (v) Australian Standard AS1926.1 Part 1: Safety barriers for swimming pools
  - (vi) Australian Standard AS1926.2 Part 2: Location of safety barriers for swimming pools.
- (2) A 'KEEP WATCH' pool safety and aquatic based emergency sign, issued by Royal Life Saving is to be displayed in a prominent position within the pool/spa area.
  - (3) Filter backwash waters shall be conveyed to the Sydney Water sewerage system in sewered areas or managed on-site in unsewered areas in a manner that does not cause pollution, erosion or run off, is separate from the irrigation area for any wastewater system and is separate from any onsite stormwater management system.
  - (4) Swimming pools and spas must be registered with the Division of Local Government.

Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community.

## **SCHEDULE 1C**

### **1. INSTALLATION OF WATER EFFICIENT TAPS**

All taps and shower heads installed must be water efficient with at least a 4-star rating under the Water Efficiency and Labelling Scheme (WELS). The details are to be submitted for the approval of the Principal Certifier, prior to any Occupation



Certificate being issued.

## **2. TREES ON SITE TO BE RETAINED**

Council requires all existing trees on the site to be retained. If a tree is to be removed a consent from council is required.

## **3 WASTE AND RECYCLING MANAGEMENT - MINOR**

Council requires the proposal facilities to minimise and manage waste and recycling generated by the proposal.

(1) A waste management plan for the work must be submitted to the principal certifying authority at least 2 days before work commences on the site

(2) The waste management plan must—

(a) identify all waste (including excavation, demolition and construction waste materials) that will be generated by the work on the site, and

(b) identify the quantity of waste material in tonnes and cubic metres to be—

(i) reused on-site, and

(ii) recycled on-site and off-site, and

(iii) disposed of off-site, and

(c) if waste materials are to be reused or recycled on-site—specify how the waste material will be reused or recycled on-site, and

(d) if waste materials are to be disposed of or recycled off-site—specify the contractor who will be transporting the materials and the waste facility or recycling outlet to which the materials will be taken.

(3) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.

(4) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

## **4 RUN – OFF AND EROSION CONTROLS**

Run-off and erosion controls must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on the surrounding land by—

- diverting uncontaminated run-off around cleared or disturbed areas, and

- erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties, and

- preventing the tracking of sediment by vehicles onto roads, and

- stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.

- **It is very important no construction runoff is to be allowed to enter the Menindee Lakes system.**

## **SCHEDULE 1D**

### **DURING CONSTRUCTION/PRIOR TO OCCUPATION/COMPLETION**

## **5 OCCUPATION CERTIFICATE TO BE SUBMITTED**



An Occupation Certificate must be obtained from the Principal Certifier and a copy submitted to Council prior to commencement of occupation or use of the whole or any part of a new building, an altered portion of, or an extension to an existing building.

## **6 HOURS OF WORK AND NOISE**

The hours of construction and work on the development must be as follows:

- i. All work, including demolition, excavation and building work, and activities in the vicinity of the site generating noise associated with preparation for the commencement of work (eg loading and unloading of goods, transferring of tools etc) in connection with the proposed development must only be carried out between the hours of 7.00am and 7.00pm on Mondays to Fridays, inclusive, and 7.00am and 5.00pm on Saturdays, and no work must be carried out on Sundays or public holidays.
- ii. All work, including demolition, excavation and building work must comply with the Australian Standard 2436-2010 *Guide to Noise Control on Construction, Maintenance and Demolition Sites*.
- iii. Notwithstanding the above, the use of a crane for special operations, including the delivery of materials, hoisting of plant and equipment and erection, and dismantling of on site tower cranes which warrant the on-street use of mobile cranes outside of above hours can occur, subject to a permit being issued by Council under Section 68 of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993.

Note: Works may be undertaken outside of hours, where it is required to avoid the loss of life, damage to property, to prevent environmental harm and/or to avoid structural damage to the building. Written approval must be given by the Construction Regulation Unit, prior to works proceeding.

The Council allows extended working hours subject to the approval of an application in accordance with the Code and under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.

## **7 NOISE – DURING CONSTRUCTION**

### **Construction noise**

Noise caused by construction must not exceed an LAeq (15 min) of 5dB(A) above background noise when measured at any lot boundary of the property where the construction is being carried out.

## **8 DEMOLITION**

Any demolition must be carried out in accordance with AS 2601—2001, *The demolition of structures*.



## **9 MAINTENANCE OF SITE**

All materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.

- Waste materials (including excavation, demolition and construction waste materials) must be managed on the site and then disposed of at a waste management facility.
- Copies of receipts stating the following must be given to the principal certifying authority—
  - the place to which waste materials were transported,
  - the name of the contractor transporting the materials,
  - the quantity of materials transported off-site and recycled or disposed of.
- Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
- During construction—
  - all vehicles entering or leaving the site must have their loads covered, and
  - all vehicles, before leaving the site, must be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.
- At the completion of the works, the work site must be left clear of waste and debris.

## **10 EARTHWORKS, RETAINING WALLS AND STRUCTURAL SUPPORT**

Any earthworks (including any structural support or other related structure for the purposes of the development)—

- must not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot, and
- must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property, and
- that is fill brought to the site—must contain only virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 to the *Protection of the Environment Operations Act 1997*, and
- that is excavated soil to be removed from the site—must be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005*.
- Any excavation must be carried out in accordance with *Excavation Work: Code of Practice* (ISBN 978-0-642-785442 [PDF] and ISBN 978-0-642-785459 [DOCX]), published in July 2012 by Safe Work Australia.

## **11 DRAINAGE CONNECTIONS**

- If the work is the erection of, or an alteration or addition to, a building, the roof stormwater drainage system must be installed and connected to the drainage system before the roof is installed.
- Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.



## **12 ARCHAEOLOGY DISCOVERED DURING WORKS**

If any object having interest due to its age or association with the past is uncovered during the course of the work—

- all work must stop immediately in that area, and
- the Office of Environment and Heritage must be advised of the discovery.

• **Note**

Depending on the significance of the object uncovered, an archaeological assessment and excavation permit under the *Heritage Act 1997* may be required before further the work can continue.

## **13 ABORIGINAL OBJECTS DISCOVERED DURING WORKS**

If any Aboriginal object (including evidence of habitation or remains) is discovered during the course of the work—

- all excavation or disturbance of the area must stop immediately in that area, and
- the Office of Environment and Heritage must be advised of the discovery in accordance with section 89A of the *National Parks and Wildlife Act 1974*.

• **Note—**

If an Aboriginal object is discovered, an Aboriginal heritage impact permit may be required under the *National Parks and Wildlife Act 1974*.

## **14 COVERING OF LOADS**

All vehicles involved in the excavation and/or demolition process and departing the property with demolition materials, spoil or loose matter must have their loads fully covered before entering the public roadway.

## **15 LOADING AND UNLOADING DURING CONSTRUCTION**

The following requirements apply:

- i. All loading and unloading associated with construction activity must be accommodated on site, where possible.
- ii. If, it is not feasible for loading and unloading to take place on site, a Works Zone on the street may be considered by Council.
- iii. A Works Zone may be required if loading and unloading is not possible on site. If a Works Zone is warranted an application must be made to Council at least 8 weeks prior to commencement of work on the site. An approval for a Works Zone may be given for a specific period and certain hours of the days to meet the need for the site for such facilities at various stages of construction. The approval will be reviewed periodically for any adjustment necessitated by the progress of the construction activities.



- iv. Where hoisting activity over the public place is proposed to be undertaken including hoisting from a Works Zone, a separate approval under Section 68 of the Local Government Act 1993 and Section 138 of the Roads Act 1993 must be obtained.

## **16 NO OBSTRUCTION OF PUBLIC WAY**

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances. Non-compliance with this requirement will result in the issue of a notice by Council to stop all work on site.

## **17 USE OF MOBILE CRANES**

The following requirements apply:

- Mobile cranes operating from the road must not be used as a method of demolishing or constructing a building.
- For special operations including the delivery of materials, hoisting of plant and equipment and erection, and dismantling of on site tower cranes which warrant the on-street use of mobile cranes, permits must be obtained from Council for the use of a mobile crane. The permits must be obtained 48 hours beforehand for partial road closures which, in the opinion of Council will create minimal traffic disruptions and 4 weeks beforehand in the case of full road closures and partial road closures which, in the opinion of Council, will create significant traffic disruptions.
- The use of a crane for special operations, including the delivery of materials, hoisting of plant and equipment and erection and dismantling of on site tower cranes which warrant the on-street use of mobile cranes outside of approved hours of construction can occur, subject to a permit being issued by Council under Section 68 of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993.

## **18 CONTAMINATED SOILS**

### **Requirement to Notify about New Contamination Evidence**

Any new information revealed during demolition works that has the potential to alter previous conclusions about site contamination or hazardous materials shall be immediately notified to the Council and the Principal Certifying Authority.

Reason: To protect human health and the environment.

### **Compliance with the Remediation Action Plan**

The requirements of the Remediation Action Plan required by this consent are to be fully implemented from commencement of any excavation, demolition or development works until the issue of any interim / final occupation certificate.

Reason: Protection of the environment, SEPP 55 compliance.

A validation report, is to be prepared in accordance with relevant guidelines issued under the Contaminated Land Management Act 1997 must be submitted to the Council within one month from completion of the remediation work.

Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of any interim / final Occupation Certificate.





If the site requires ongoing activities to control contamination, the validation report is to provide a list of ongoing measures to be undertaken to protect adjacent properties, the environment and the water table from further contamination.

Reason: To ensure environmental amenity is maintained.

## **19 VEHICULAR ACCESS**

If the work involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the work on the site is obtained.

## **20 UTILITY SERVICES**

If the work requires alteration to, or the relocation of, utility services on, or adjacent to, the lot on which the work is carried out, the work is not complete until all such works are carried out.

## **21 LANDSCAPING – TREES AND PLANTING**

All landscape works including nominated tree species and other shrubs and vegetation species are to be approved by council prior to Occupation Certificate issue.

## **SCHEDULE 2 PRESCRIBED CONDITIONS**

**The prescribed conditions in accordance with Division 8A of the *Environmental Planning and Assessment Regulation 2000* may apply:**

Clause 98 Compliance with *Building Code of Australia* and insurance requirements under the *Home Building Act 1989*

Clause 98A Erection of signs

Clause 98B Notification of *Home Building Act 1989* requirements

Clause 98C Conditions relating to entertainment venues.

Clause 98D Conditions relating to maximum capacity signage.

Clause 98E Conditions relating to shoring and adequacy of adjoining property Refer

to the NSW State legislation for full text of the clauses under Division 8A of the *Environmental Planning and Assessment Regulation 2000*. This can be accessed at:

<http://www.legislation.nsw.gov.au>



## IMPORTANT ADDITIONAL INFORMATION

### Advisory notes:

#### The *Environmental Planning and Assessment Act 1979* requires you to:

1. Obtain a **Construction Certificate** prior to the commencement of any works. An application may be lodged through the NSW Planning Portal to nominate either Central Darling Shire Council as the Principal Certifying authority, or you may apply to a private accredited certifier for a Construction Certificate. An accredited certifier **must obtain Development application approval** to review the conditions of this development consent, where indicated before issuing the Construction Certificate.
2. **Note: it is compulsory to lodge digital copies of applications, including plans and documentation if lodging an application through the NSW Planning Portal to Central Darling Shire Council. Please refer to the link below for any further information about digital requirements and electronic files.**
3. Nominate a **Principal Certifier** which may be either Council or an accredited certifier and notify Council of that appointment. You **cannot lawfully** commence works without complying with this requirement.
4. Give Council at least two days' notice of your intention to commence the erection of a building **before** commencing construction works. You cannot lawfully commence works without complying with this requirement.
5. Obtain an **Occupation Certificate** before commencing occupation or commencing to use the building or on the completion of other works including the erection of a sign. You cannot lawfully commence occupation or the use of a building without complying with this requirement.

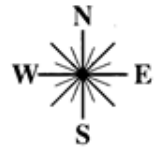
#### You may also need to:

6. Obtain approval through the lodgement of an application under Section 68 of the *Local Government Act 1993* and Section 138 of the *Roads Act 1993* for an activity which is proposed to be undertaken in, on or above a road reservation (including footways). Such activities include:
  - (a) installation of hoardings/scaffolding.
  - (b) installation and/or alterations to advertising/business signs and street awnings.
  - (c) crane operation and other hoisting activities.
  - (d) temporary works (e.g.: barricading, road openings, mobile hoisting devices).
  - (e) works zone (for loading and unloading from the roadway); and
  - (f) temporary ground anchoring and shoring to support a roadway when excavating.
7. Lodge an **Application for Subdivision** to obtain a **Subdivision Certificate** if a land (including stratum) subdivision is proposed and an Application for Subdivision to obtain **Strata Title Subdivision** under the relevant Strata Titles Act if strata title of the development is proposed.
8. Comply with the Food Act 2003, the Australia New Zealand Food Standards Code, Australian Standard 4674 – 2004, and register the business with Council if the premises are used for the manufacture, preparation, packing, storing, conveying, or delivering of food or beverage for sale.
9. Contact NSW Water and Central Darling Shire Council regarding the water and sewerage services to this development.
10. Carry out critical stage inspections in accordance with Section 6.5 of the EP&A Act 1979 and clauses 162A, 162B and 163 of the EP&A Regulation 2000.

#### Applications and submissions referred to in this consent may be lodged at:

##### Central Darling Shire Council

21 Reid Street  
Wilcannia NSW 2836



# PROPOSED CAMP KITCHEN - MENINDEE CAMPING GROUNDS

GE

Central Darling Shire Council

G1

D23/21-PAN-178589

Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

G2

Approved by Council 21 February 2022

G3

Director Shire Services

G4

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G5. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING:

AREA	LIVE LOAD/SITE CLASS
FLOOR	1.5 kPa
SITE CLASS	A - AS2870 - 2011

G6. ALL CARE SHALL BE TAKEN TO ENSURE ADEQUATE SITE DRAINAGE IS PROVIDED TO ENSURE THAT WATER IS DIVERTED AWAY FROM THE BUILDING DURING AND AFTER CONSTRUCTION.

G7. ALL FORM WORK SHALL BE IN ACCORDANCE WITH AS3610-1995.

G8. PREPOUR INSPECTIONS FOR ALL FOOTINGS AND SLABS SHALL BE CARRIED OUT BY METALINE ENGINEERING GROUP PTY LTD OR THE CERTIFYING AUTHORITY.

G9. FOR SLABS ON GROUND, FINISHED SLAB HEIGHTS ABOVE EXTERNAL FINISHED SURFACES MUST NOT BE LESS THAN:

- a) 150mm ABOVE FINISHED GROUND LEVEL
- .. 100mm ABOVE SANDY, WELL DRAINED AREAS
- c) 50mm ABOVE EXTERNAL SEALED AREAS THAT HAVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1m FROM THE BUILDING.

G10. SLABS AND FOOTINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH DESIGNS CONTAINED IN SECTION 3 AND ENGINEERING PRINCIPALS CONTAINED IN SECTION 4 OF AS2870 - 2011, AND ENGINEERING PRINCIPALS FROM AS3600-2009.

G11. DIMENSIONS GIVEN FOR BEAMS AND STRIP FOOTINGS ARE THE MINIMUM REQUIRED AS PER DESIGN PRINCIPLES NOTED ABOVE. IF THERE ARE SITE SPECIFIC REQUIREMENTS TO WIDEN OR DEEPEN BEAMS OR STRIP FOOTINGS, IT SHALL BE PERFORMED AS FOLLOWS:

- a) WHERE STRIP FOOTINGS ARE WIDER THAN THAT SPECIFIED, AN EXTRA BOTTOM BAR OR EQUIVALENT OF THE SAME BAR SIZE REQUIRED FOR EACH 100mm ADDITIONAL WIDTH.
- b) WHERE STRIP FOOTINGS OR SLAB BEAM ARE DEEPER THAN THAT SPECIFIED, THE BOTTOM REINFORCEMENT SPECIFIED IN AS2870 FOR THE GREATER BEAM OR STRIP FOOTING DEPTH IS TO BE USED.
- c) WHERE ADJUSTMENTS IN WIDTH FOR WAFFLE POD SLAB BEAMS REINFORCED WITH BARS ARE REQUIRED, THIS SHALL BE PERFORMED IN ACCORDANCE WITH REINFORCEMENT NOTES HERE WITHIN.

## CONCRETE:

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600.
- C2. CONCRETE COVER TO ALL REINFORCEMENT (FINISHES NOT INCLUDED).

ELEMENT	FORMED AND SHELTERED	FORMED AND EXPOSED	NO FORM WORK
SLABS AND WALLS	30mm	30mm	65mm
BEAMS	30mm	40mm	65mm
COLUMNS	40mm	50mm	75mm
FOOTINGS		65mm	75mm

- C3. CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH AND MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEER APPROVAL.
- C4. DEPTHS OF BEAMS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS WHERE NOT SHOWN ON DRAWINGS.
- C5. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE PROPERLY FORMED AND LOCATED AS PER THE APPROVAL— OF THE ENGINEER.
- C6. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY IN THE TRUE PROJECTION.
- C7. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN. WELDING OF REINFORCEMENT WILL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C8. ALL CONCRETE SHALL BE GRADE 25MPa - 100mm SLUMP (U.N.O).
- C9. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING ON APPROVED BAR CHAIRS AT 1.0m MAX CRS BOTH WAYS. WHERE REQUIRED PROVIDE SUPPORT BATS N16 AT 1.0m MAX CRS.
- C10. ALL REINFORCEMENT FOR ANY ONE POUR SHALL BE COMPLETELY PLACED AND TIED PRIOR TO INSPECTION BY THE ENGINEER OR ARCHITECT. NO CONCRETE SHALL BE POURED UNTIL REINFORCEMENT HAS BEEN INSPECTED AND APPROVED.
- C11. WHERE SLABS AND BEAMS ARE TO SUPPORT BRICKWORK OVER, BRICKWORK AND PROPS MUST BE REMOVED BEFORE COMMENCEMENT OF BRICKWORK.
- C12. TRENCH MESH IN BEAMS TO BE LAID CONTINUOUSLY WITH EACH LAYER BEING LAPPED FOR ITS FULL WIDTH AT INTERSECTIONS AND FOR A MINIMUM OF 500mm AT SPLICES. THE TRENCH MESH SHALL BE OVERLAPPED BY THE WIDTH OF THE FABRIC AT T & L JUNCTIONS.
- C13. AS A GENERAL POLICY, METALINE ENGINEERING GROUP DO NOT RECOMMEND THE USE OF POLISHED CONCRETE. THE OWNER SHOULD BE MADE AWARE BY THE BUILDING DESIGNER AND BUILDER THAT CONCRETE IS A NATURAL MATERIAL AND THE POSSIBILITY OF SURFACE CRACK FORMATION MAY OCCUR AND CANNOT BE GUARANTEED EITHER IN THE SHORT OR LONG TERM, WE HIGHLY RECOMMEND CURING THE SLAB USING AN APPROVED SPRAYED MEMBRANE.
- C14. ALL CONCRETE TO BE VIBRATED

## REINFORCEMENT:

- R1. ALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH AS4671-2001.
- R2. REINFORCEMENT IS PRESENTED DIAGRAMMATICALLY ONLY, AND IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- R3. REINFORCEMENT DESIGNATION AS FOLLOWS:
  - A) N-GRADE 500N HS DEFORMED BARS
  - B) R-GRADE 250R HOT ROLLED BAR
  - C) SL-GRADE 500L SQUARE MESH
  - D) TM-GRADE 500L TRENCH MESH
- R4. TRENCH MESH SHALL BE SPLICED WHERE NECESSARY BY A LAP OF 500mm.
- R5. REINFORCEMENT BARS SHALL BE LAPPED AS FOLLOWS:
  - A) MESH-2 OUTER BARS OVERLAPPED WITH 2-OUTER BARS + 20mm
  - B) N12 BARS = 500mm MIN
  - C) N16 BARS = 700mm MIN
- R6. ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION. CHAIRS TO BE 800mm MAX CENTERS, BOTH DIRECTIONS.
- R7. SERVICE PENETRATIONS SHALL BE APPROVED BY METALINE ENGINEERING GROUP PTY LTD PRIOR TO POURING. ALL SERVICES THAT PENETRATE CONCRETE MEMBERS SHALL BE LAGGED OR SLEEVED.
- R8. WHERE THERE ARE SITE SPECIFIC REQUIREMENTS TO WIDEN SLAB BEAMS OR STEM WIDTHS, ADDITIONAL REINFORCEMENT TO THAT SHOWN IN THE DETAILS SHALL BE PROVIDED TOP AND BOTTOM, ACCORDING TO THE TABLE AND DIAGRAMS BELOW. BAR SIZES IS TO MATCH THE EXISTING SPECIFIED TOP AND BOTTOM BAR SIZE SHOWN IN THE DETAILS.

ADDITIONAL WAFFLE POD BEAM WIDTH REINFORCEMENT		
STEM WIDTH OR BASE BEAM WIDTH (mm)	QTY TOP REINFORCEMENT BARS FOR STEM WIDTH	QTY BOTTOM REINFORCEMENT BARS FOR BASE BEAM WIDTH
110-150	0 STD, 1 OVER PIERS	1
151-220	1	2
221-330	2	3
331-440	3	4

## BASE PREPARATION - FILL:

- F1. FILLING USED IN THE CONSTRUCTION OF A SLAB, EXCEPT WHERE THE SLAB IS SUSPENDED, SHALL CONSIST OF CONTROLLED FILL AS FOLLOWS:
  - CONTROLLED FILL:
    - a) MINIMUM 100mm DEEP MAXIMUM 300mm DEEP UNDER PERIMETER OF FOOTINGS. IT SHALL BE ELL— COMPACTED IN 150mm LAYERS BY A MECHANICAL ROLLER TO A MINIMUM 95% STANDARD COMPACTION FOR A SINGLE STORY DWELLING, AND 98% STANDARD COMPACTION FOR A DOUBLE STORY DWELLING. FILL SHALL BE OF LESS REACTIVITY THAN NATURAL SOIL.
- F2. FILL WITH A GREATER DEPTH THAN THAT SPECIFIED ABOVE SHALL BE TESTED AND BE CERTIFIED.
- F3. FILL SHALL BE EXTENDED PAST THE EDGE OF THE RESIDENCE AND SHALL BE RETAINED OR BATTERED BY AN APPROPRIATE SLOPE.

## BASE PREPARATION - FOUNDATION:

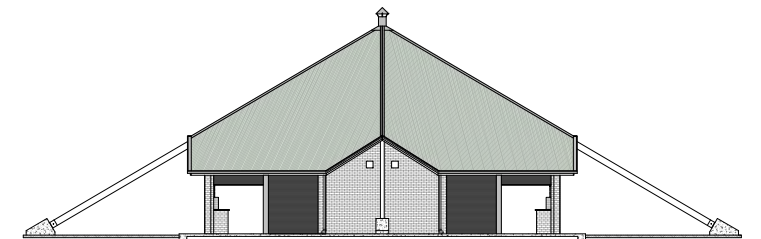
- B1. FOUNDATION MATERIALS, WHETHER NATURAL OR FILL, SHALL HAVE A MINIMUM UNIFORM ALLOWABLE BEARING CAPACITY OF 100kPa.
- B2. THE ATTACHED PROJECT SPECIFIC FOOTING DESIGN, HAS BEEN BASED ON A SITE CLASSIFICATION CARRIED OUT IN ACCORDANCE WITH AS2870-2011.
- B3. INTERNAL BEAMS/RIBS AND SLAB PANELS SHALL BE FOUNDED ON CONTROLLED OR ROLLED FILL.
- B4. ALL EDGE BEAMS SHALL BE FOUNDED IN NATURAL SOIL OR CONTROLLED FILL, UNLESS SUPPORTED BY PIERS.
- B5. BASE PREPARATION SHOULD ACCOUNT FOR WATER PONDING BY PROVIDING A NOMINAL GRADE OF 2%

## EXCAVATION:

- E1. TOPSOIL CONTAINING GRASS ROOTS OR VEGETATION SHALL BE REMOVED FROM FROM THE FOUNDATION AREA. IT SHALL THEN BE PROOF ROLLED PRIOR TO FILLING.
- E2. FOOTING EXCAVATION MUST BE FREE OF LOOSE EARTH, TREE ROOTS, MUD OR DEBRIS IMMEDIATELY BEFORE POURING CONCRETE.
- E3. EXCAVATION FOR FOOTINGS, INCLUDING THICKENINGS FOR SLABS AND PADS MUST BE CLEAN CUT WITH VERTICAL SIDES, WHEREVER POSSIBLE.
- E4. METALINE ENGINEERING GROUP PTY LTD SHOULD BE CONSULTED BEFORE COMMENCING ANY EXCAVATION NEAR THE EDGE OF THE BUILDING.

## DAMP-PROOF MEMBRANE:

- D1. A DAMP PROOF MEMBRANE CONSISTING OF 0.2mm NOMINAL THICKNESS POLYETHYLENE FILM, SHALL BE PLACED UNDER ALL SLABS AND BEAMS AND EXTENDED TO A FINISH GROUND LEVEL TO THE SLAB PERIMETER U.N.O.
- D2. IT SHALL BE HIGH IMPACT RESISTANT IN ACCORDANCE WITH CLAUSES 5.3.3.2 AND 5.3.3.3 OF "AS2870-2011 CONCRETE UNDERLAY, 0.2mm HIGH IMPACT RESISTANCE".
- D3. IT SHALL BE INSTALLED WITH MIN 200mm LAPS AT ALL JOINTS, TAPED OR SEALED WITH A CLOSE FITTING SLEEVE AROUND SERVICES PENETRATIONS.



Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
C	ISSUE FOR CONSTRUCTION	23.11.21	A.M
B	ISSUE FOR CONSTRUCTION SS	17.11.21	A.M
A	75% DESIGN PHASE	10.11.21	A.M



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Client:

LAWRENCE ENGINEERING

Project:

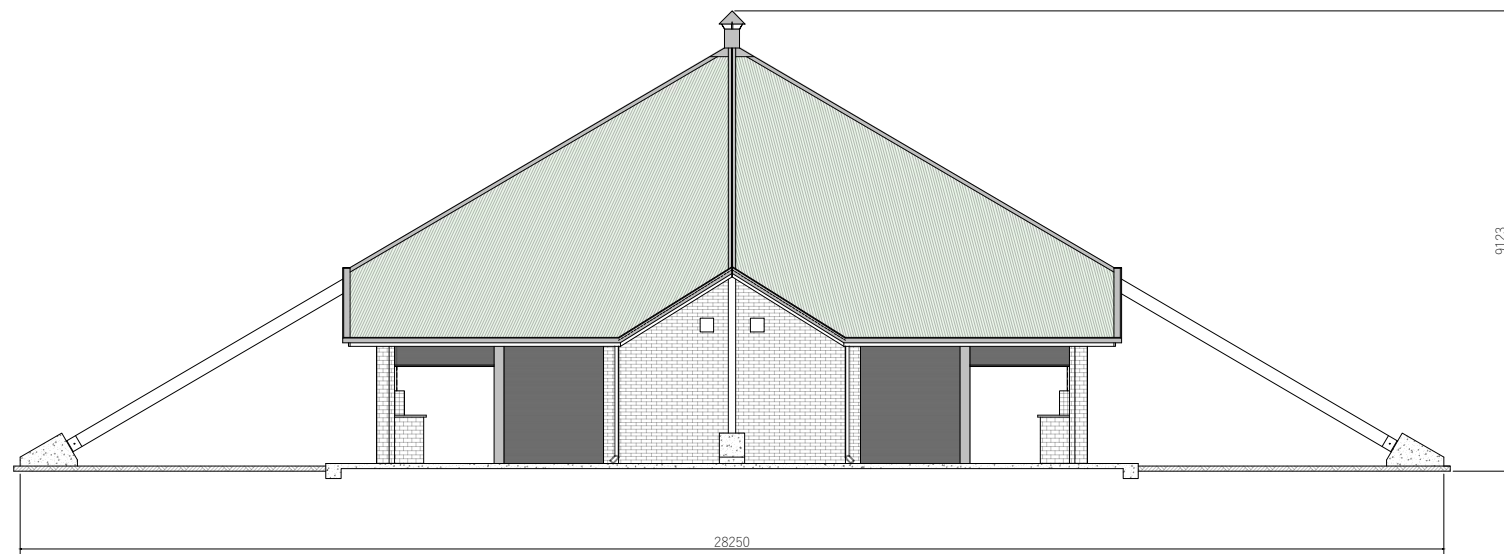
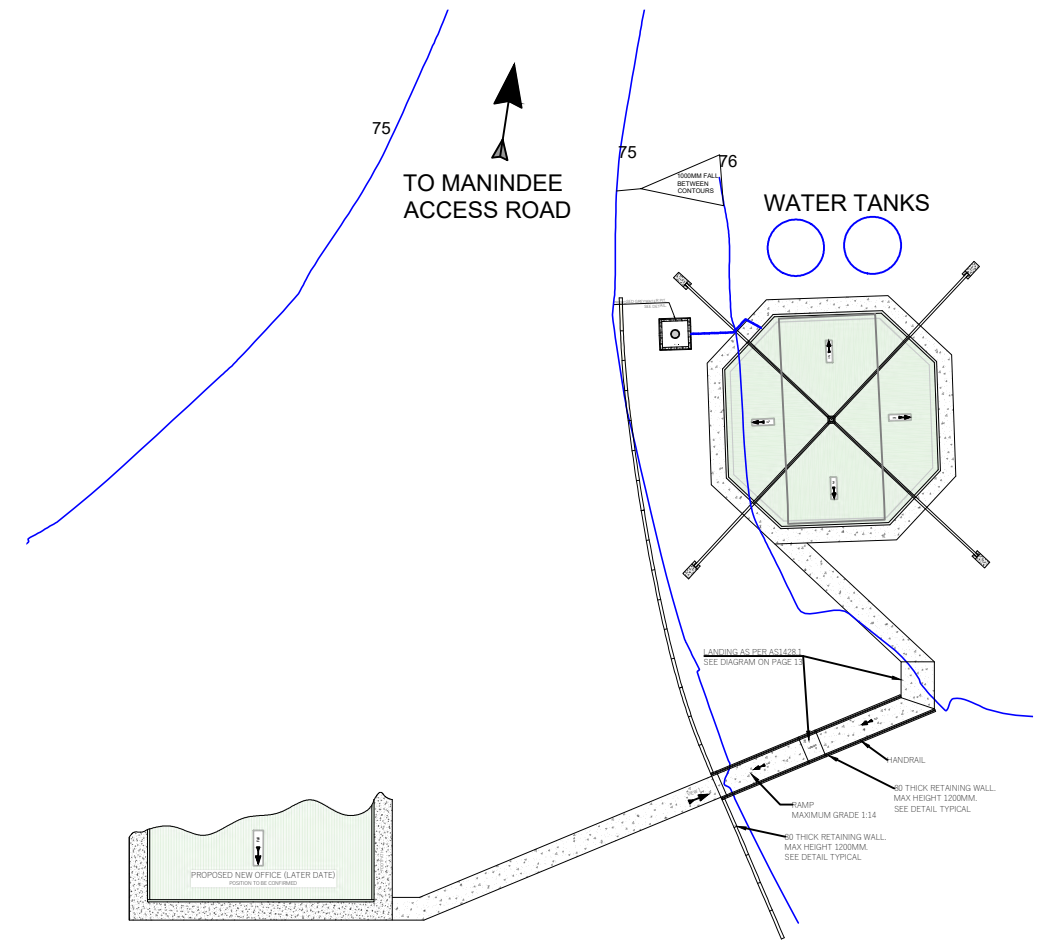
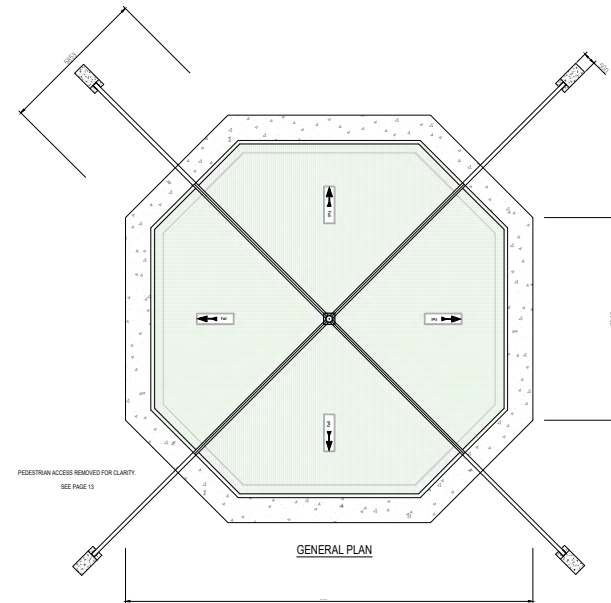
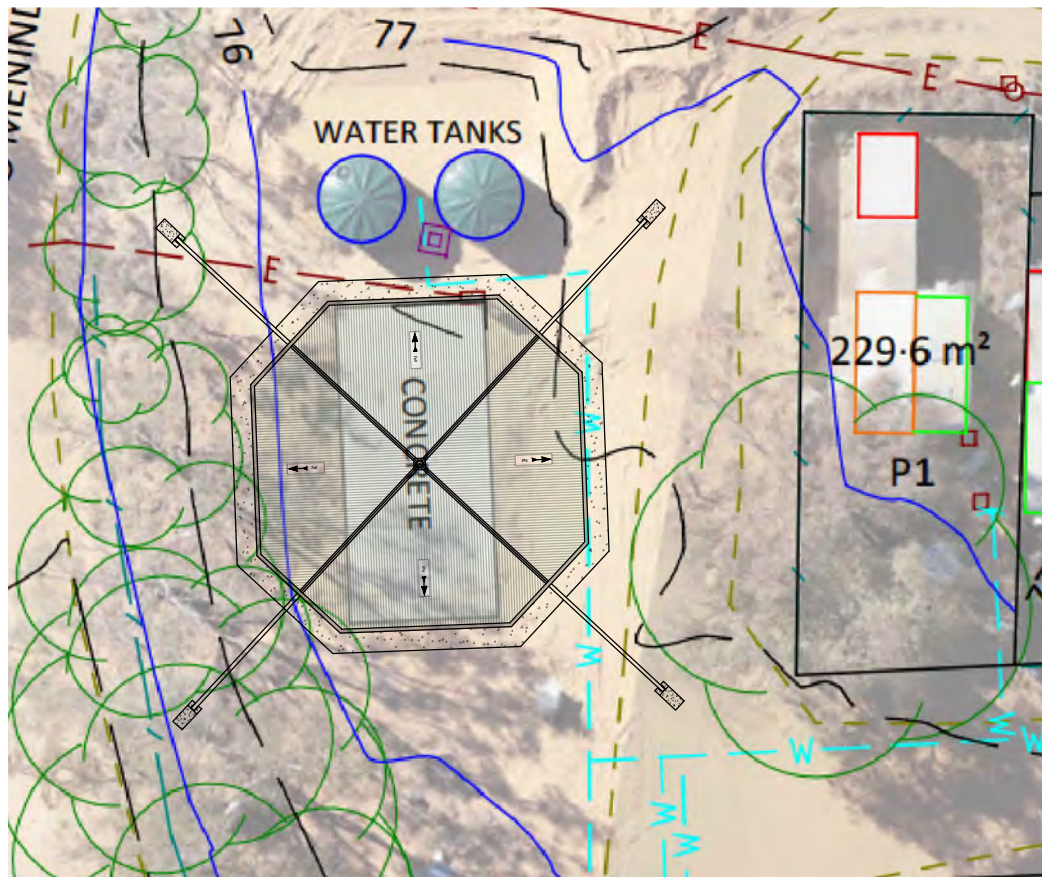
MENINDEE CAMP KITCHEN

Drawing:

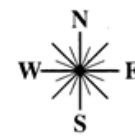
GENERAL NOTES

## ISSUE FOR CONSTRUCTION

Designed:	A.M.	Scale (A3):	
Drawn:	A.M.	Date:	DEC 2021
Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	1
		Rev.	E



ELEVATION



Central Darling Shire Council

D23/21-PAN-178589

Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

Approved by Council 21 February 2022

Director Shire Services

**NOTE:**

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- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT THE BUILDINGS ARE WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE SHOWN IS CORRECT.
- ALL WORK IS TO BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITIES REQUIREMENTS.
- FOOTINGS/FOUNDATION AND STEEL WORK TO BE INSPECTED BY THE ENGINEER/CERTIFYING OFFICER PRIOR TO POUR.

Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
C	ISSUE FOR CONSTRUCTION	23.11.21	A.M
B	ISSUE FOR CONSTRUCTION SS	17.11.21	A.M
A	75% DESIGN PHASE	10.11.21	A.M



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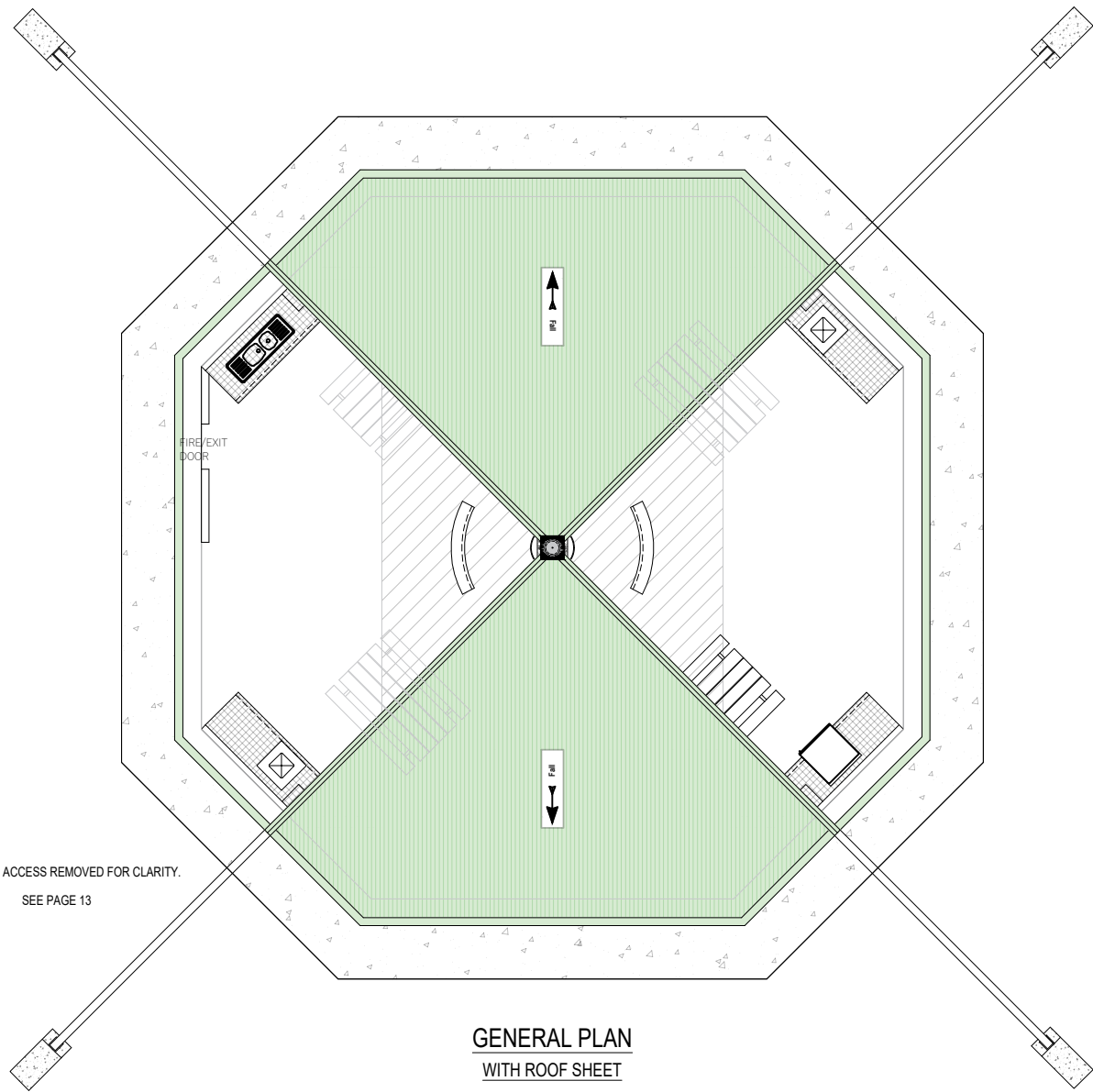
Client:  
LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

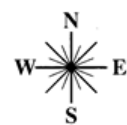
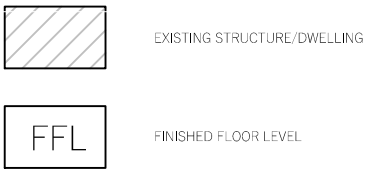
Drawing:  
SITE PLAN

ISSUE FOR CONSTRUCTION

Designed: A.M.	Scale (A3):
Drawn: A.M.	Date: DEC 2021
Checked: A.M.	No. of Sheets: 13
Project No. 6297	Drawing No. 2
	Rev. E



**GENERAL PLAN  
WITH ROOF SHEET  
REMOVED SHOWING  
INTERNAL ARRANGEMENT**



Central-Darling-Shire-Council

D23/21-PAN-178589

Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

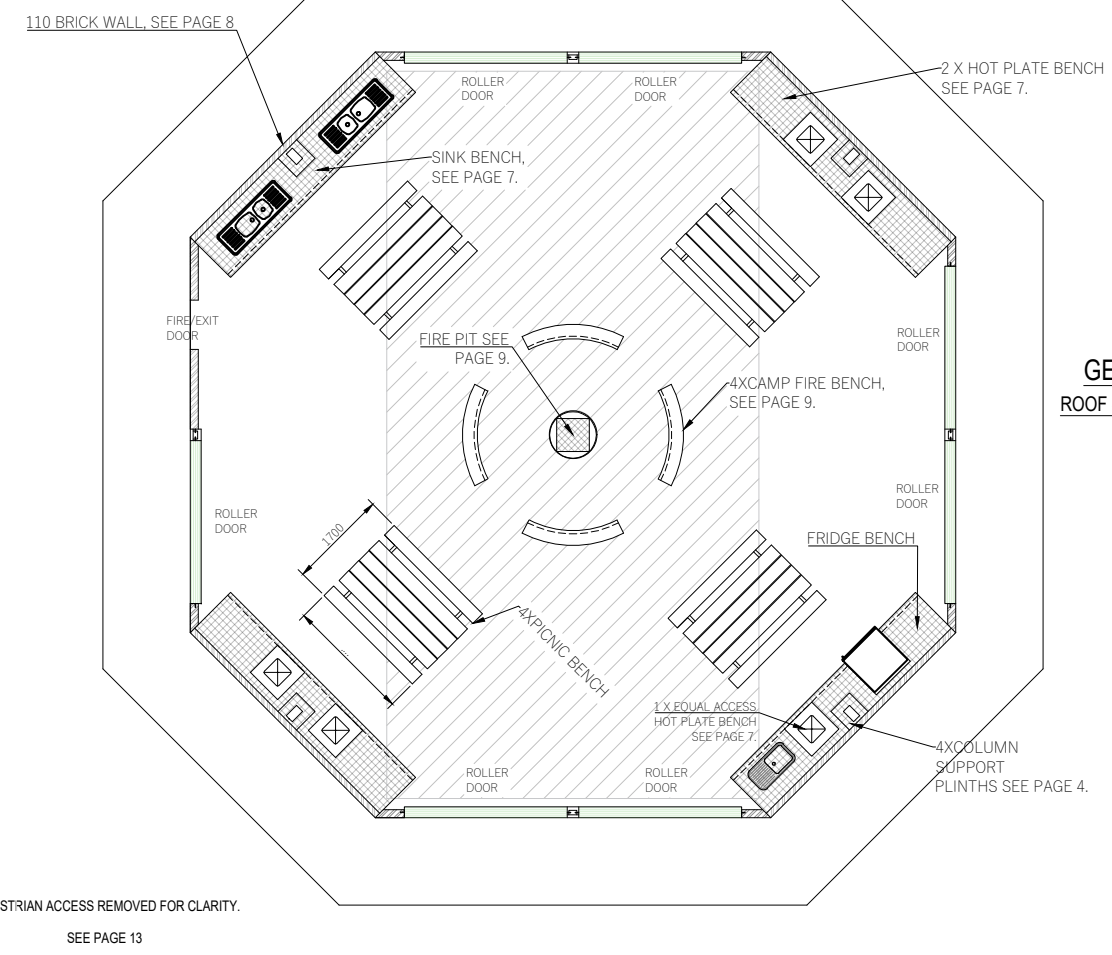
Approved by Council 21 February 2022

*[Signature]*  
Director Shire Services

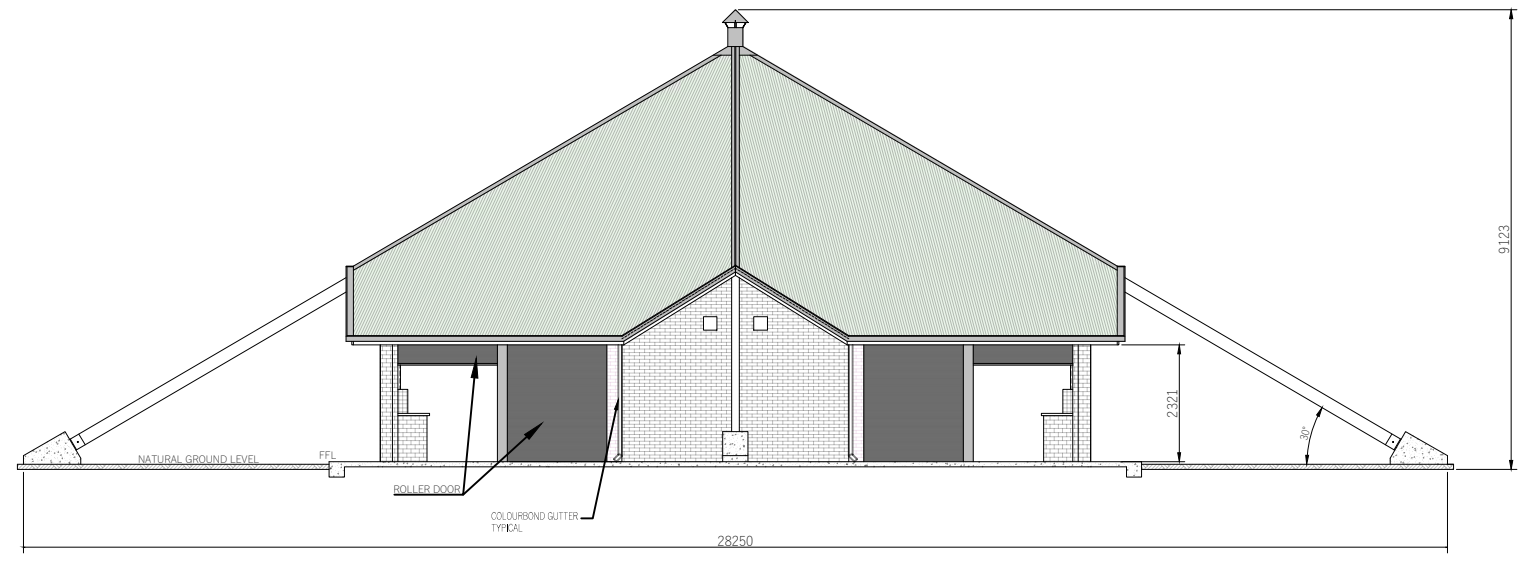


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**GENERAL PLAN  
ROOF SHEET COMPLETELY  
REMOVED**



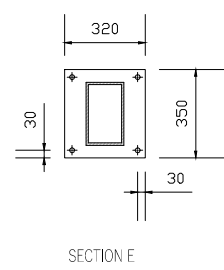
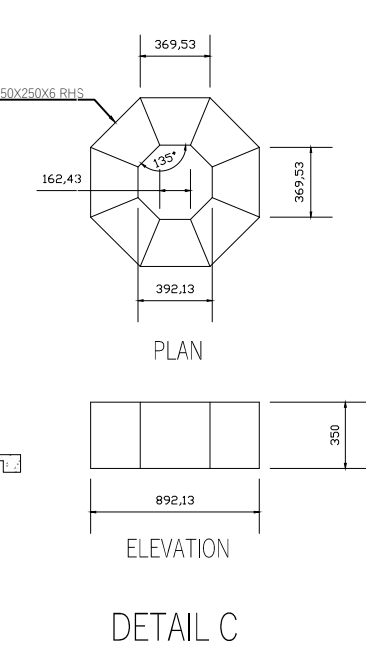
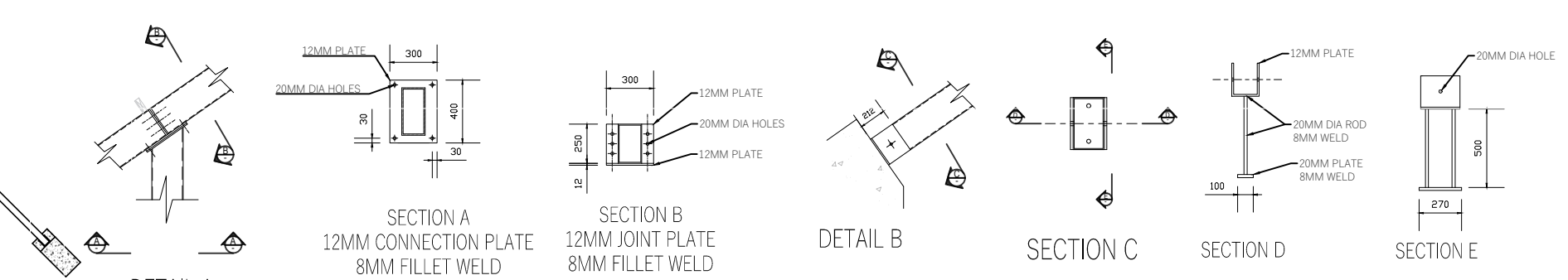
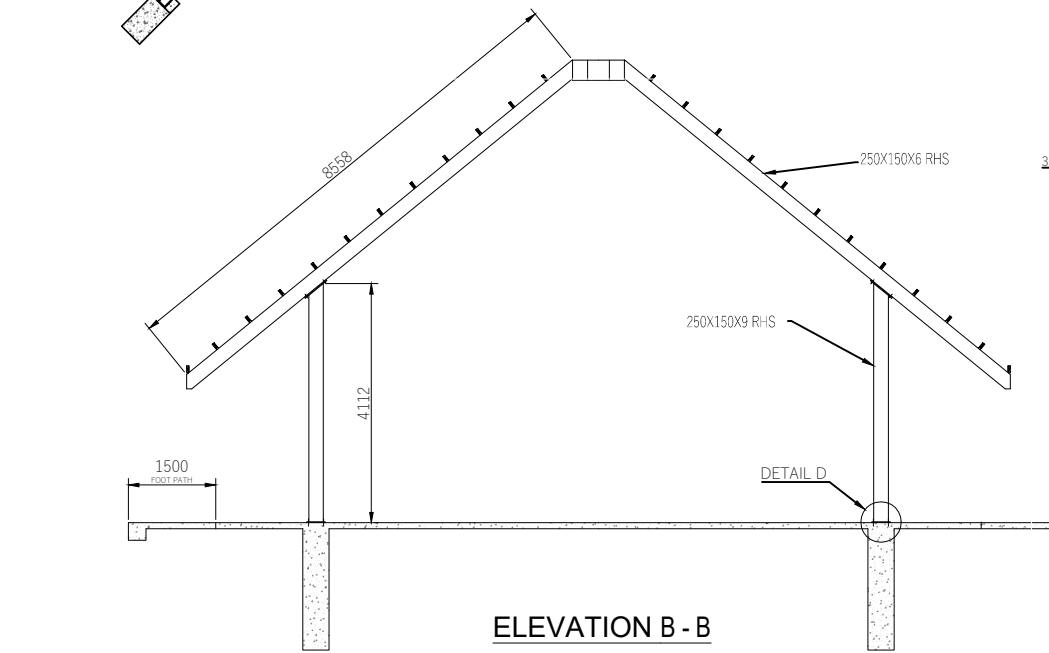
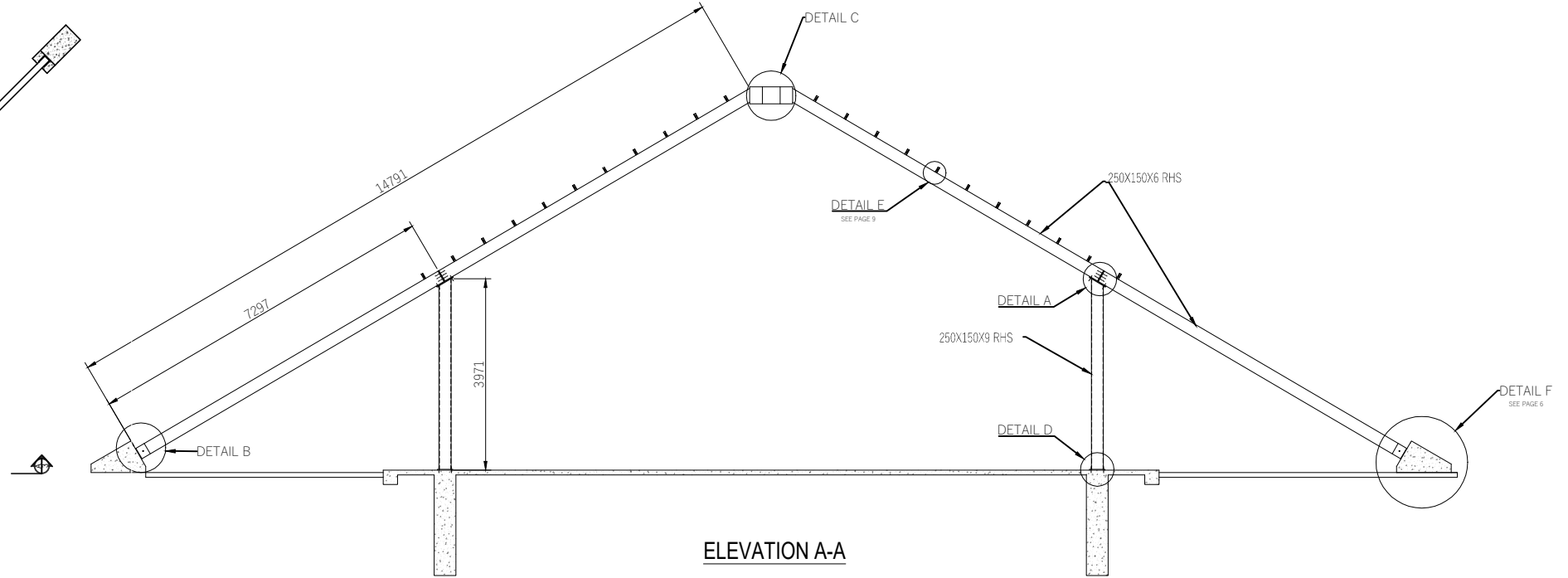
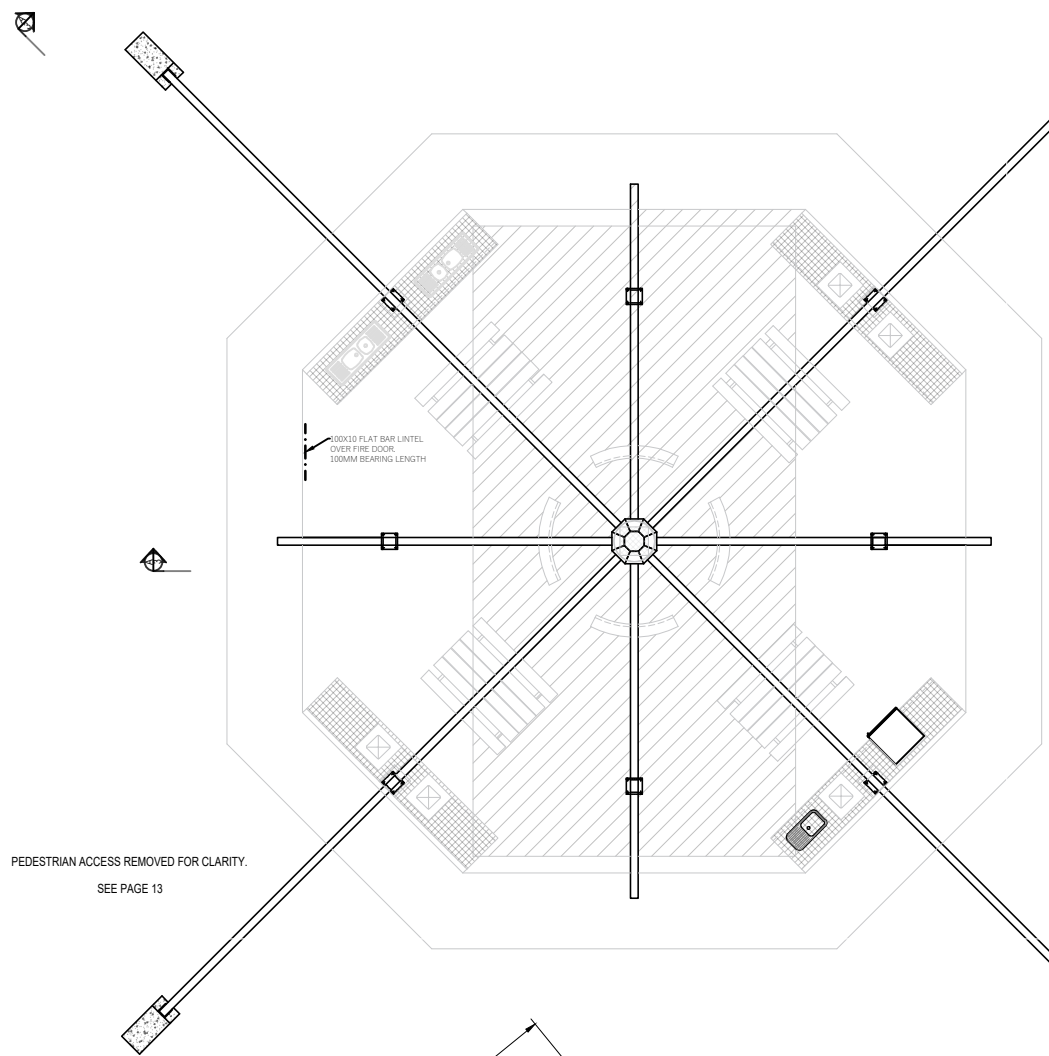
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Rev.	Remark/Comment	Date	APV.
E	IFC	11.12.21	
D	100% DESIGN FOR REVIEW	2.12.21	
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B	ISSUE FOR CONSTRUCTION SS	17.11.21	
A	75% DESIGN PHASE	10.11.21	

Client: LAWRENCE ENGINEERING  
Project: MENINDEE CAMP KITCHEN  
Drawing: FLOOR PLANS & ELEVATIONS

ISSUE FOR CONSTRUCTION			
Designed:	A.M.	Scale (A3):	
Drawn:	A.M.	Date:	DEC 2021
Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	3
		Rev.	E



**Central-Darling-Shire-Council**  
 D23/21-PAN-178589  
 Section 4.16(1)(a) of the  
*Environmental-Planning-and-Assessment-Act-1979*  
 Approved-by-Council-21-February-2022  
  
 Director Shire Services

- NOTE:**
- DESIGN WELD CATEGORY "SP" AS PER AS4100 T3.4
  - DESIGN REVIEW IS AS PER AS4100: 1998
  - ALL FABRICATION AND WORKMANSHIP AS PER AS1554.1
  - NO DYNAMIC FACTOR APPLIED
  - LIVE LOAD FACTOR OF 1.5 AND DEAD LOAD FACTOR OF 1.2, AS PER T3.4 AS1170.1, HAS BEEN APPLIED.
  - DRAWINGS ARE INDICATIVE ONLY, AND IS TO SHOW WELDS SIZE, BASIC DIMENSIONS, MEMBER SIZE ETC.
  - SHOP DRAWINGS ARE TO BE DEVELOPED IN HOUSE UNLESS REQUESTED FROM THE ENGINEER.
  - HOT DIP GALVANIZED WITH A MINIMUM AVERAGE COATING THICKNESS OF 300 G/M2; OR STAINLESS STEEL 316L, ANY MEMBER WITH A COATING THAT IS MODIFIED, I.E. BY CUTTING, WELDING, OR WHERE DAMAGED, MUST HAVE THE COATING RESTORED TO PROVIDE AN EQUIVALENT LEVEL OF PROTECTION PROVIDED BY THE ORIGINAL COATING I.E. GALVANIZING.
  - ADDITIONAL DECORATIVE COATINGS CAN BE APPLIED, SUCH AS PAINT, BUT MUST NOT BE CONSIDERED FOR THE PURPOSE OF SATISFYING THE REQUIREMENTS OF GALVANIZING.
  - PAINT COLOR TO BE DECIDED BY CLIENT/OWNER.

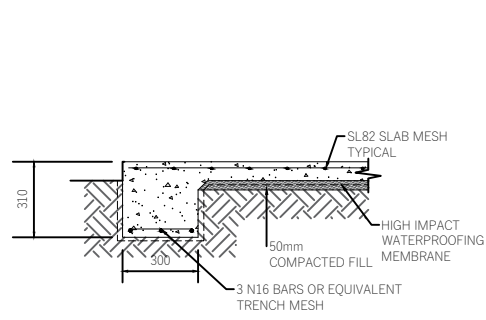
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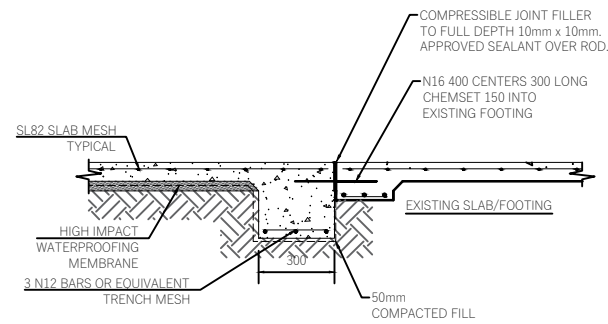
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Client: LAWRENCE ENGINEERING  
 Project: MENINDEE CAMP KITCHEN  
 Drawing: STEEL DETAIL

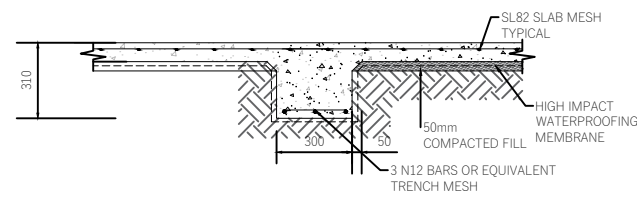
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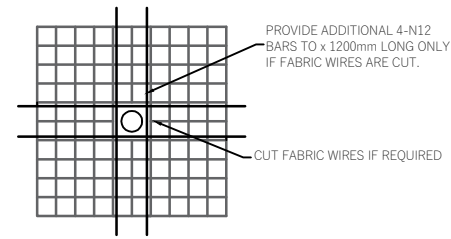
TYPICAL EDGE BEAM DETAIL - RBE



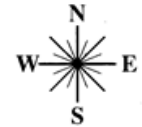
TYPICAL CONSTRUCTION JOINT DETAIL RBE J



TYPICAL TBI TYPE DETAIL



TYPICAL SLAB ON GROUND PENETRATION DETAIL



Central Darling Shire Council

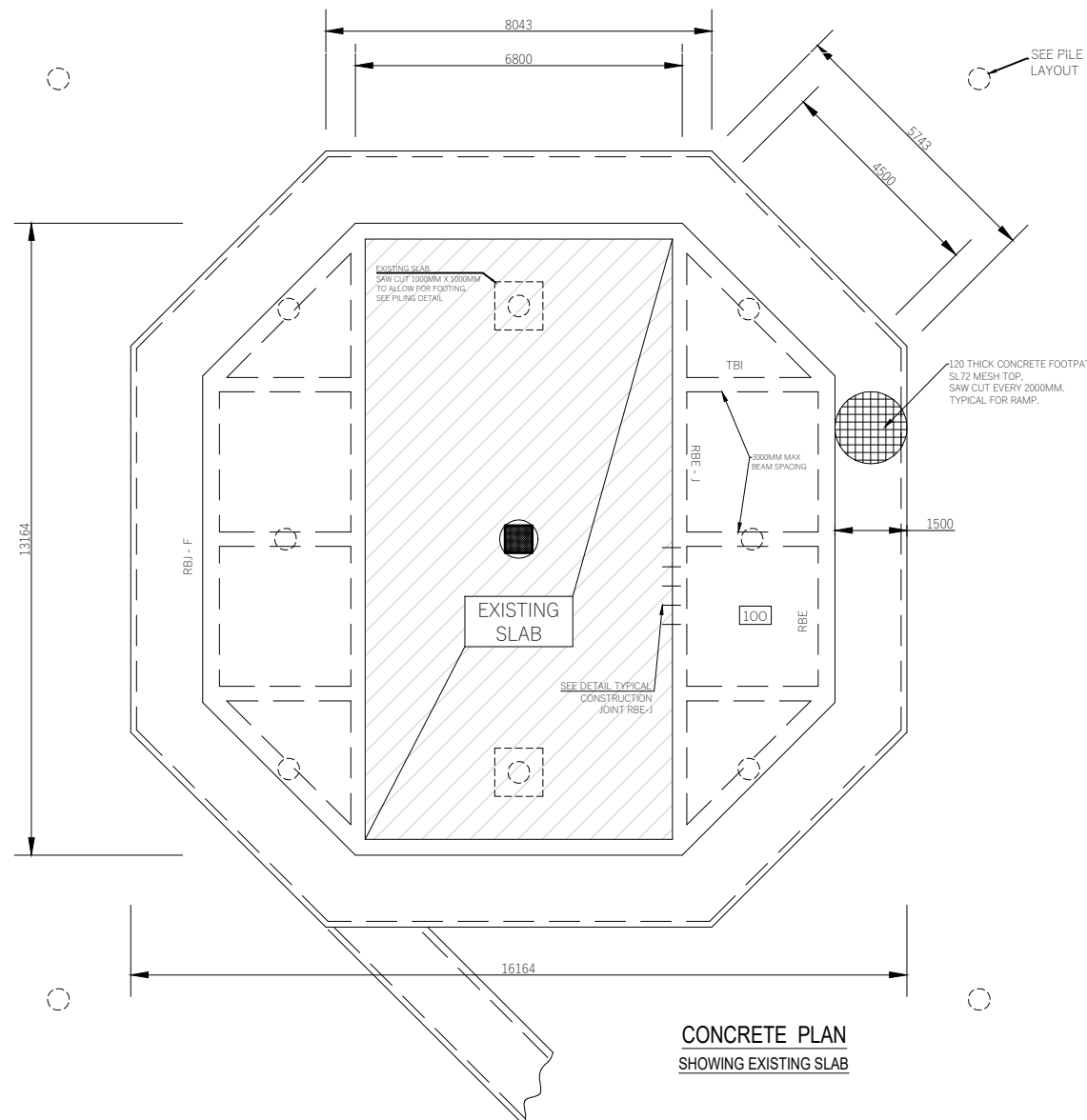
D23/21-PAN-178589

Section 4.16(1)(a) of the

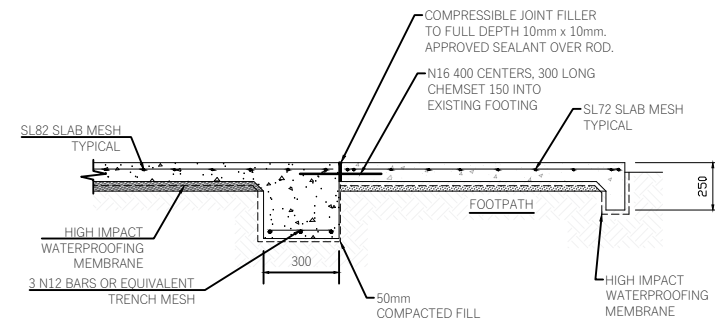
Environmental Planning and Assessment Act 1979

Approved by Council 21 February 2022

Director Shire Services



CONCRETE PLAN SHOWING EXISTING SLAB



TYPICAL CONSTRUCTION JOINT - FOOTPATH RBJ - F

LEGEN

- INTERNAL LOAD BEARING WALLS OVER STRUCTURAL MEMBER
- RBE** 300 WIDE x 310 DEEP EDGE RIB BEAM WITH 3N12 BARS BOTTOM.
- TBI** 300 WIDE BY 310 DEEP THICKENED INTERNAL BEAM WITH 3N11 BOTTOM.
- 100** 100 THICK CONCRETE RAFT SLAB, SL82 MESH TOP WITH 30mm COVER ON 0.2mm POLYTHENE MEMBRANE (LAPPED 200 AND TAPED AT JOINTS) OVER 50mm COMPACTED PACKING SAND.

EDGE AND LOAD BEARING BEAMS MUST BE FOUND 100 mm MIN INTO NATURAL GROUND, PROVIDE 15MPa BLINDING CONCRETE IF REQUIRED TO ACHIEVE FOUNDING DEPTH.

1. SLAB REINFORCEMENT TO BE LAPPED NOT LESS THAN 225mm OR 2 CROSS WIRES. SUPPORT MESH ON BAR CHAIRS AT 800mm MAXIMUM SPACING IN BOTH DIRECTIONS.
2. BEAM/RIB REINFORCEMENT TO BE LAPPED AND TIED A MINIMUM OF 500mm AT SPLICES. LAP FULL BEAM WIDTH AT RIB INTERSECTION.
3. REINFORCEMENT SHALL BE FIXED IN POSITION BY BAR CHAIRS OR APPROVED SIMILAR.
4. THE CONCRETE SHALL BE TRANSPORTED, PLACED, VIBRATED AND CURED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.

Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
C	ISSUE FOR CONSTRUCTION	23.11.21	A.M
B	ISSUE FOR CONSTRUCTION SS	17.11.21	A.M
A	75% DESIGN PHASE	10.11.21	A.M



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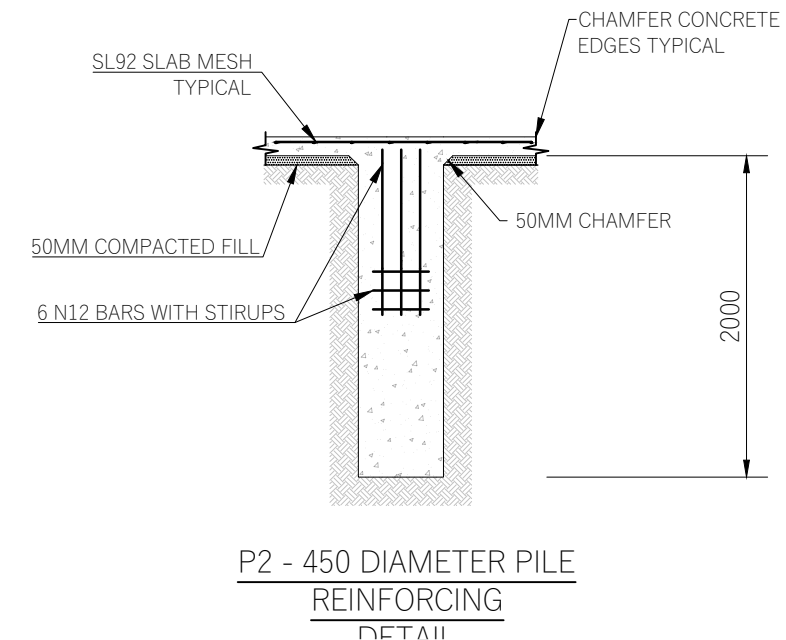
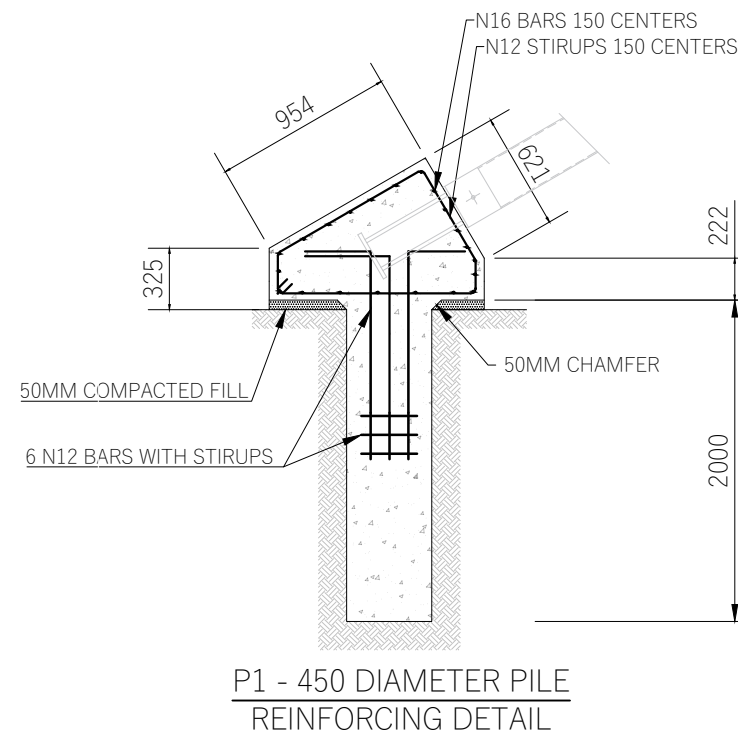
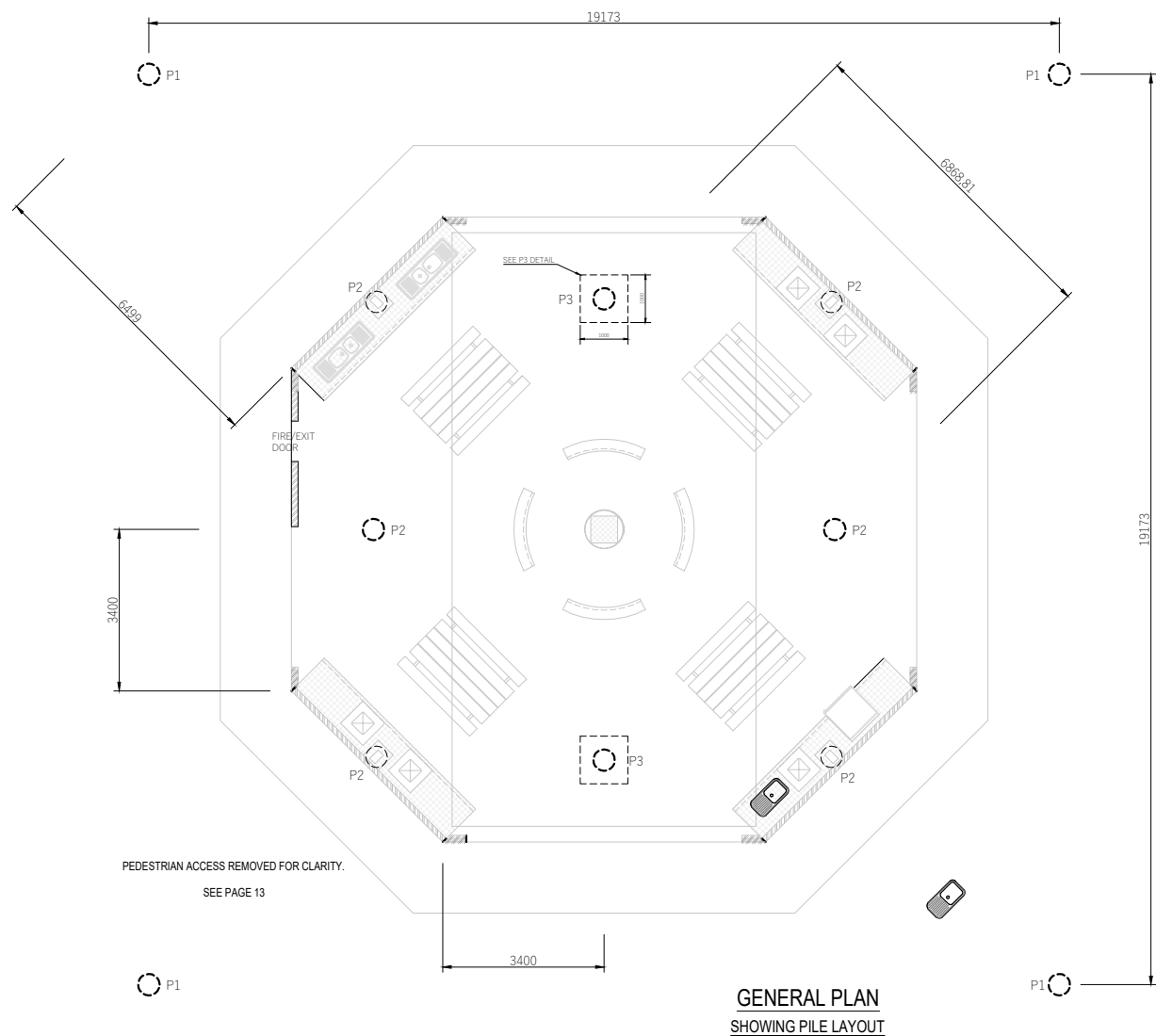
Client: LAWRENCE ENGINEERING

Project: MENINDEE CAMP KITCHEN

Drawing: CONCRETE DETAILS

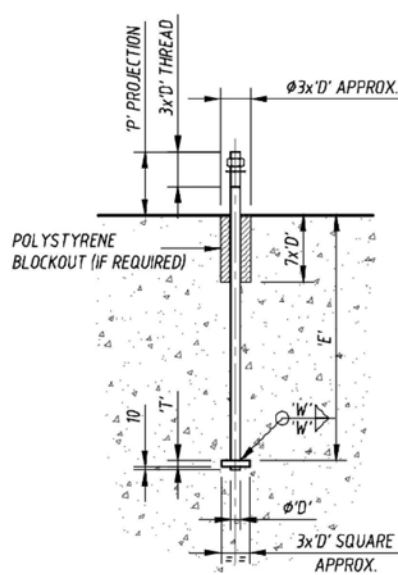
ISSUE FOR CONSTRUCTION

Designed: A.M.	Scale (A3):
Drawn: A.M.	Date: DEC 2021
Checked: A.M.	No. of Sheets: 13
Project No. 6297	Drawing No. 5
	Rev. E



P1 - 450 DIAMETER PILE REINFORCING DETAIL

P2 - 450 DIAMETER PILE REINFORCING DETAIL

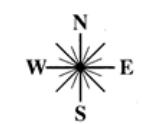


Ø'D'	T'	W'	E'	H'
12	12	6	300	100

PROJECTION 'P' = GROUT + BASE PLATE + 2x'D' MINIMUM, TYPICAL

**HOLD DOWN BOLTS NOTES**  
(APPLICABLE U.N.O. ON DESIGN DRAWINGS)

1. ALL BOLTS SHALL ACCURATELY SET WITH TEMPLATE.
2. ALL POLYSTYRENE SHALL BE REMOVED FROM BLOCKOUTS AFTER CONCRETE HAS CURED.
3. ALL BOLTS SHALL BE SUPPLIED WITH 1 NUT AND 1 FLAT WASHER.
4. ALL BOLTS, NUTS, AND WASHERS SHALL HAVE HOT DIPPED GALVANISED FINISH.
5. ALL BOLTS SHALL BE GRADE 4.6 U.N.O.
6. ALL BOLTS SHALL BE SECURELY FIXED TO ENSURE NO POSSIBLE MOVEMENT DURING CONCRETE PLACEMENT.



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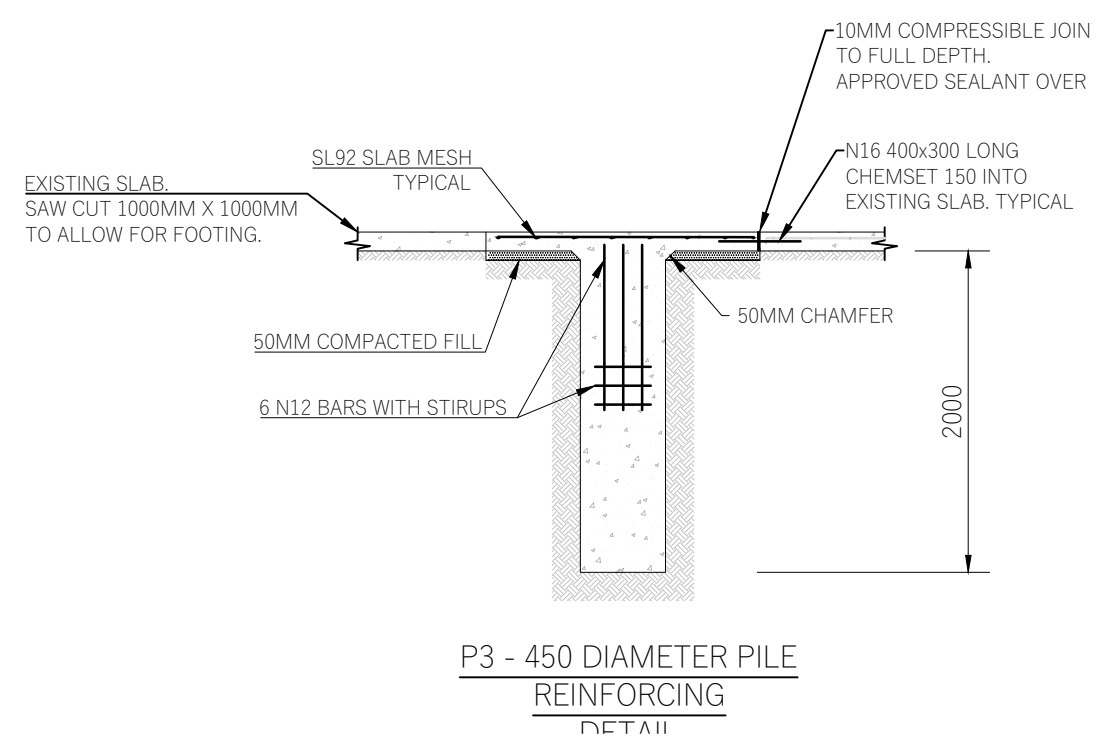
Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

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*[Signature]*  
Director Shire Services

**HOLD DOWN BOLT DETAIL**



P3 - 450 DIAMETER PILE REINFORCING DETAIL

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E	IFC	11.12.21	A.M
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A	75% DESIGN PHASE	10.11.21	A.M

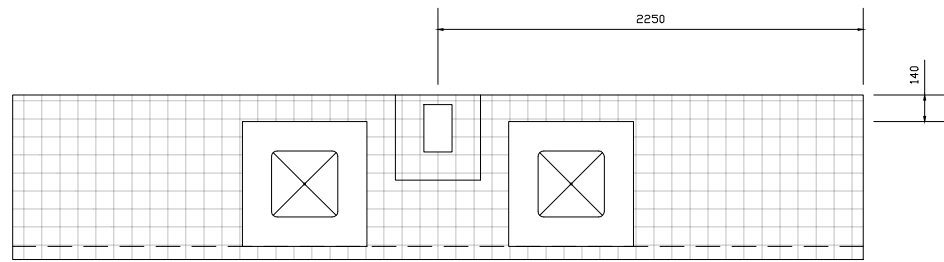
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RAIL/ROLLINGSTOCK  
AUTOMOTIVE

Client: LAWRENCE ENGINEERING  
Project: MENINDEE CAMP KITCHEN  
Drawing: PILE LAYOUT DETAILS

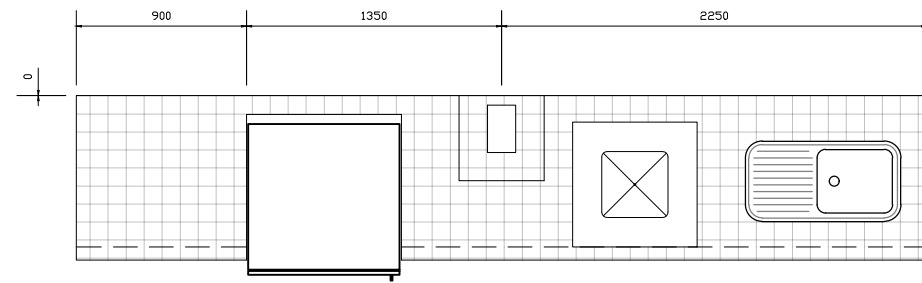
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Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	6
		Rev.	E





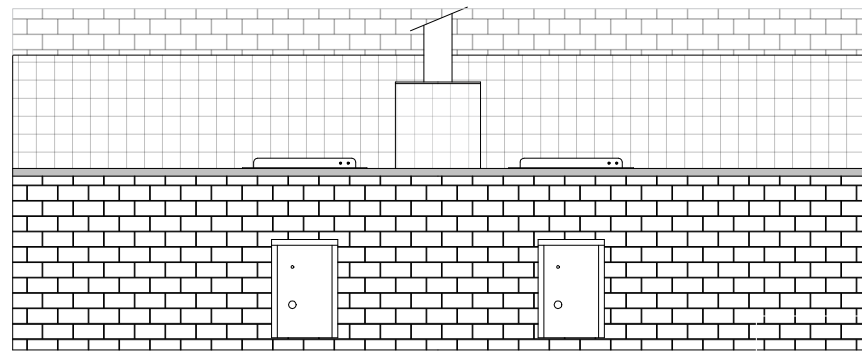
PLAN

HOT PLATE  
BENCH X 2

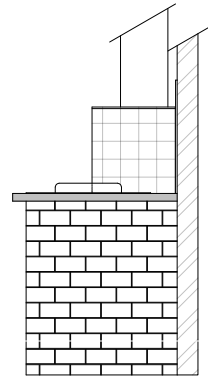


PLAN

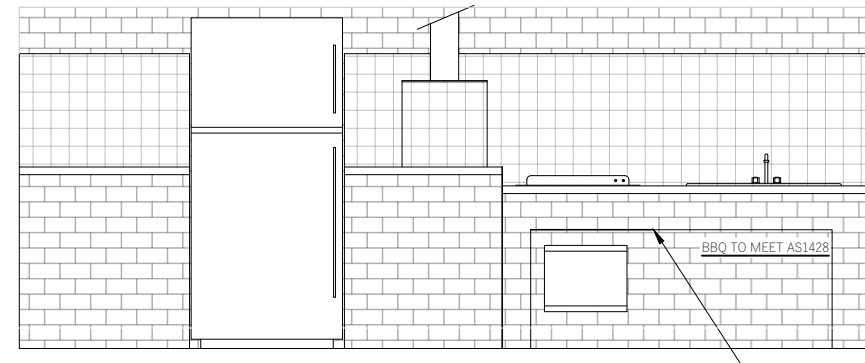
FRIDGE,  
MICROWAVE &  
EQUAL ACCESS  
HOT PLATE BENCH



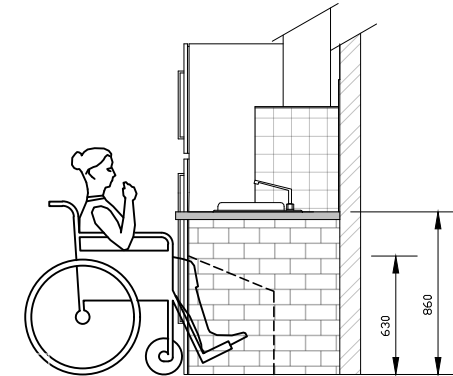
ELEVATION



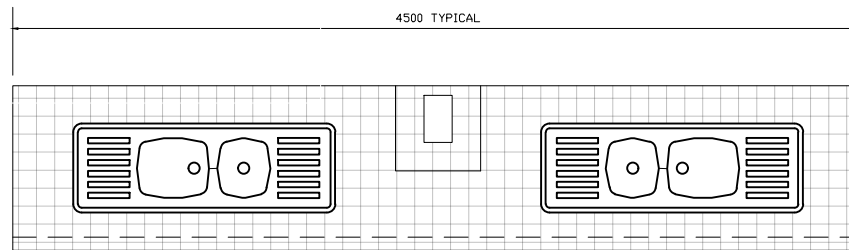
SIDE VIEW



ELEVATION

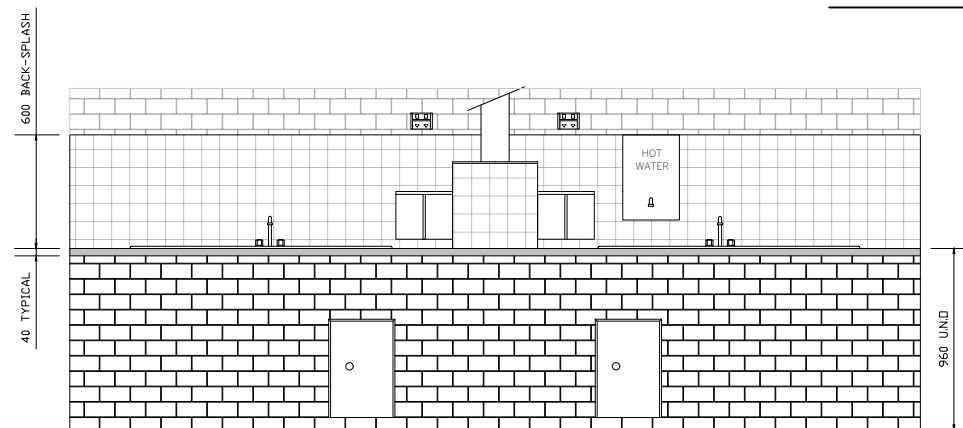


SIDE VIEW

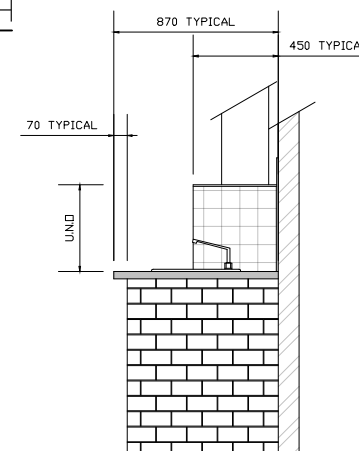


PLAN

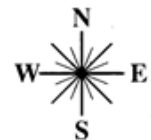
SINK BENCH



ELEVATION



SIDE VIEW



Central Darling Shire Council

D23/21-PAN-178589

Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

Approved by Council 21 February 2022

Director Shire Services

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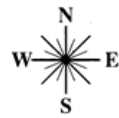
Client:  
LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

Drawing:  
FIT OUT DETAILS

ISSUE FOR CONSTRUCTION

Designed: A.M.	Scale (A3):
Drawn: A.M.	Date: DEC 2021
Checked: A.M.	No. of Sheets: 13
Project No. 6297	Drawing No. 7
	Rev. E



Central Darling Shire Council

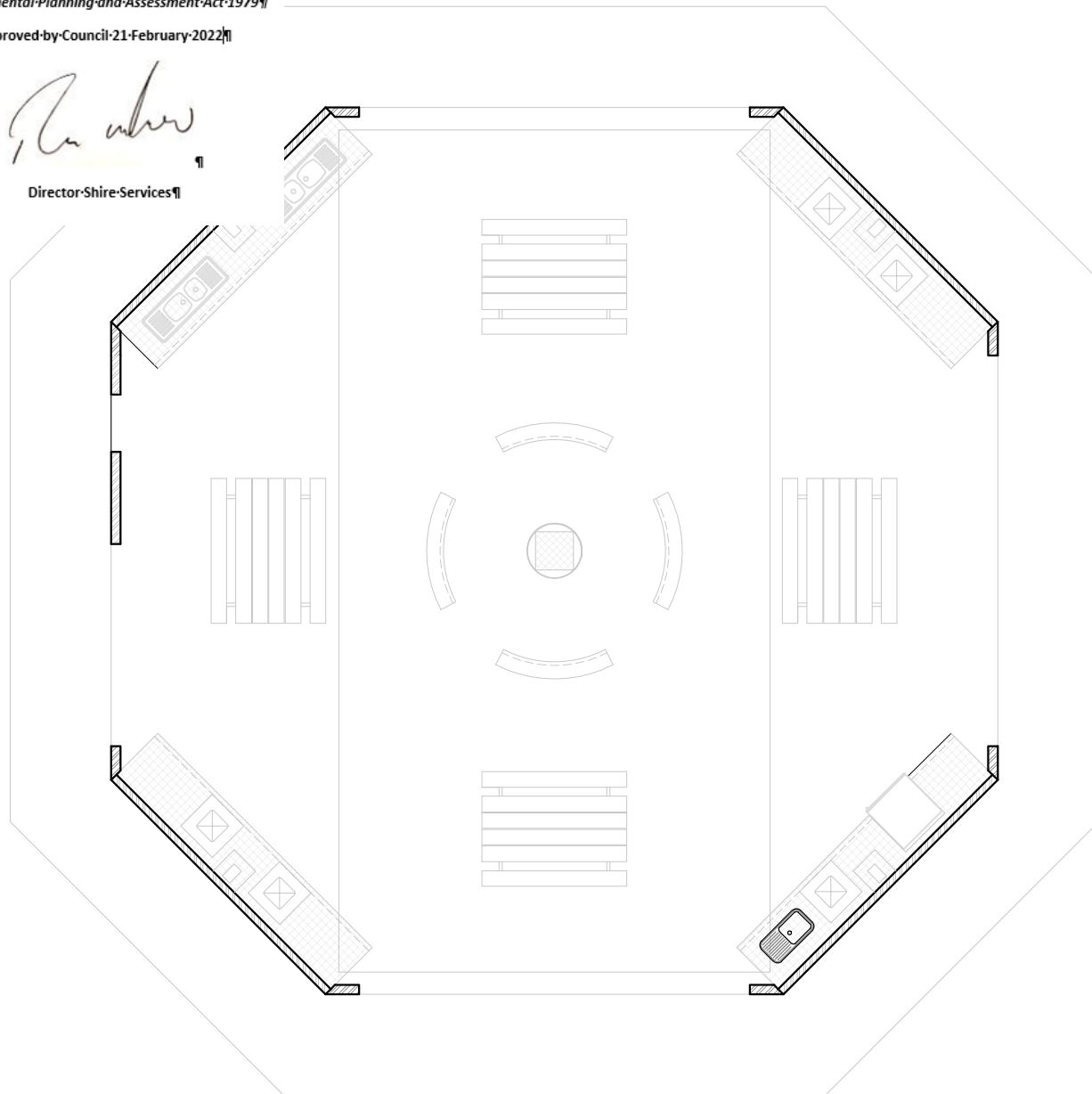
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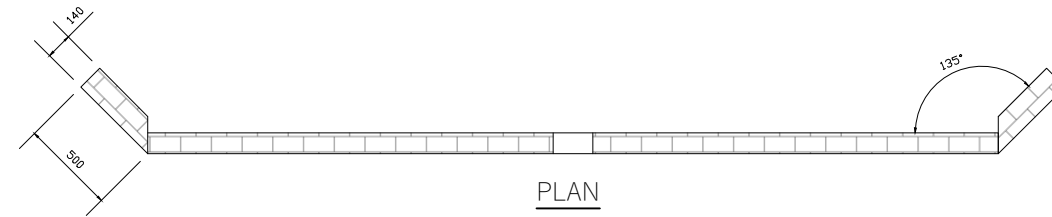
Director Shire Services



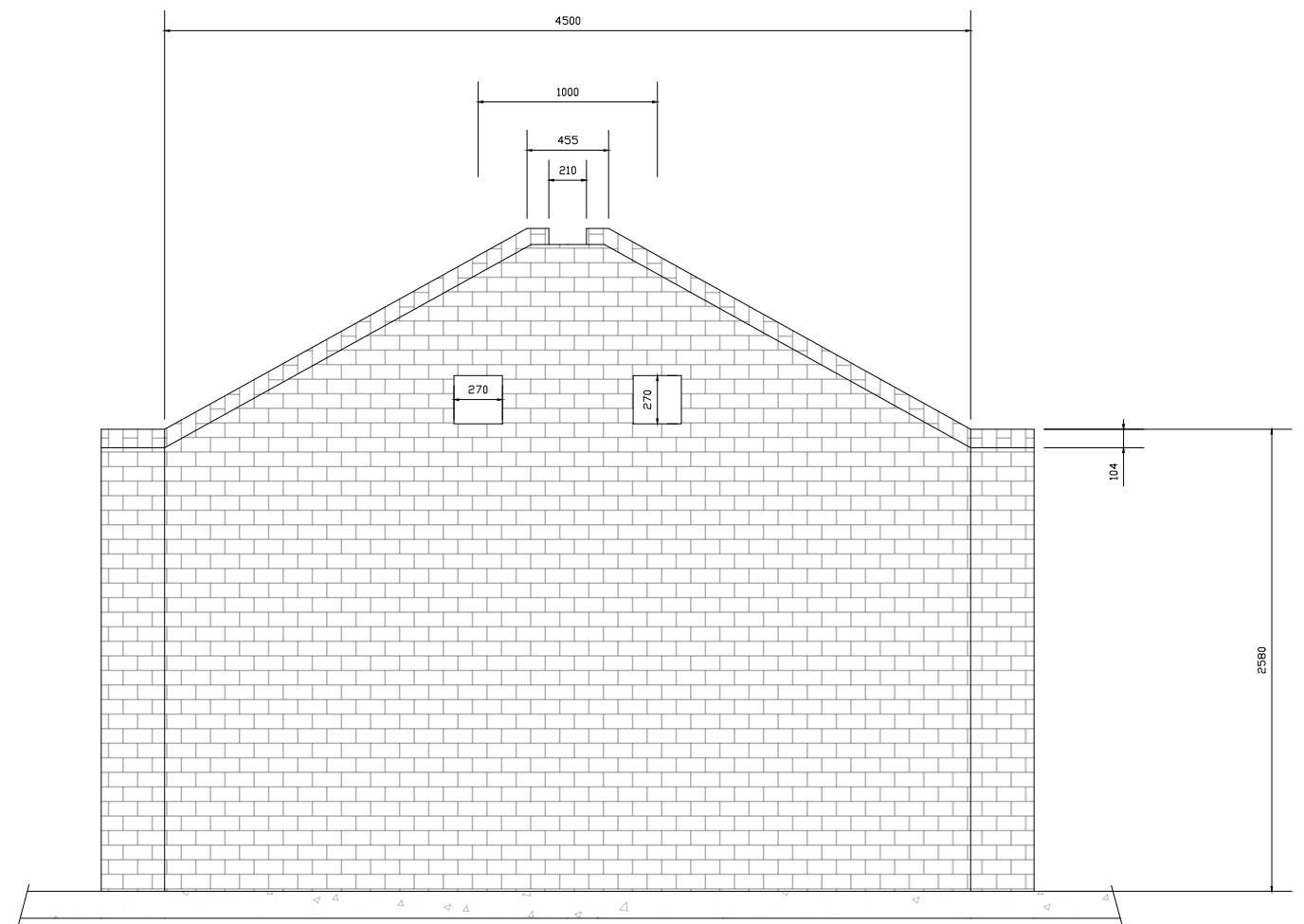
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SEE PAGE 13

**GENERAL PLAN**  
SHOWING WALL ARRANGEMENT ONLY



PLAN



ELEVATION

Rev.	Remark/Comment	Date	Apv.
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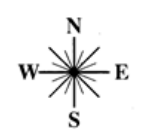
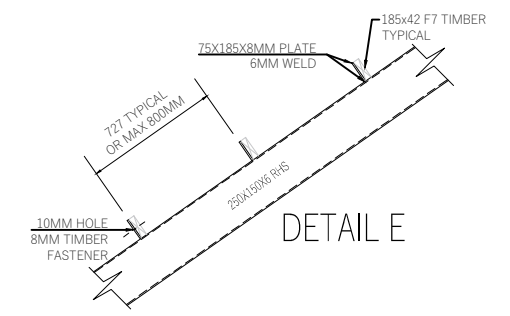
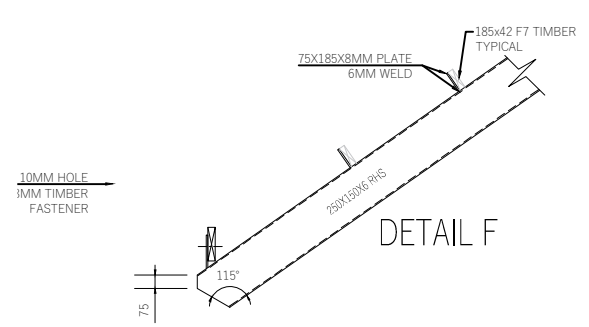
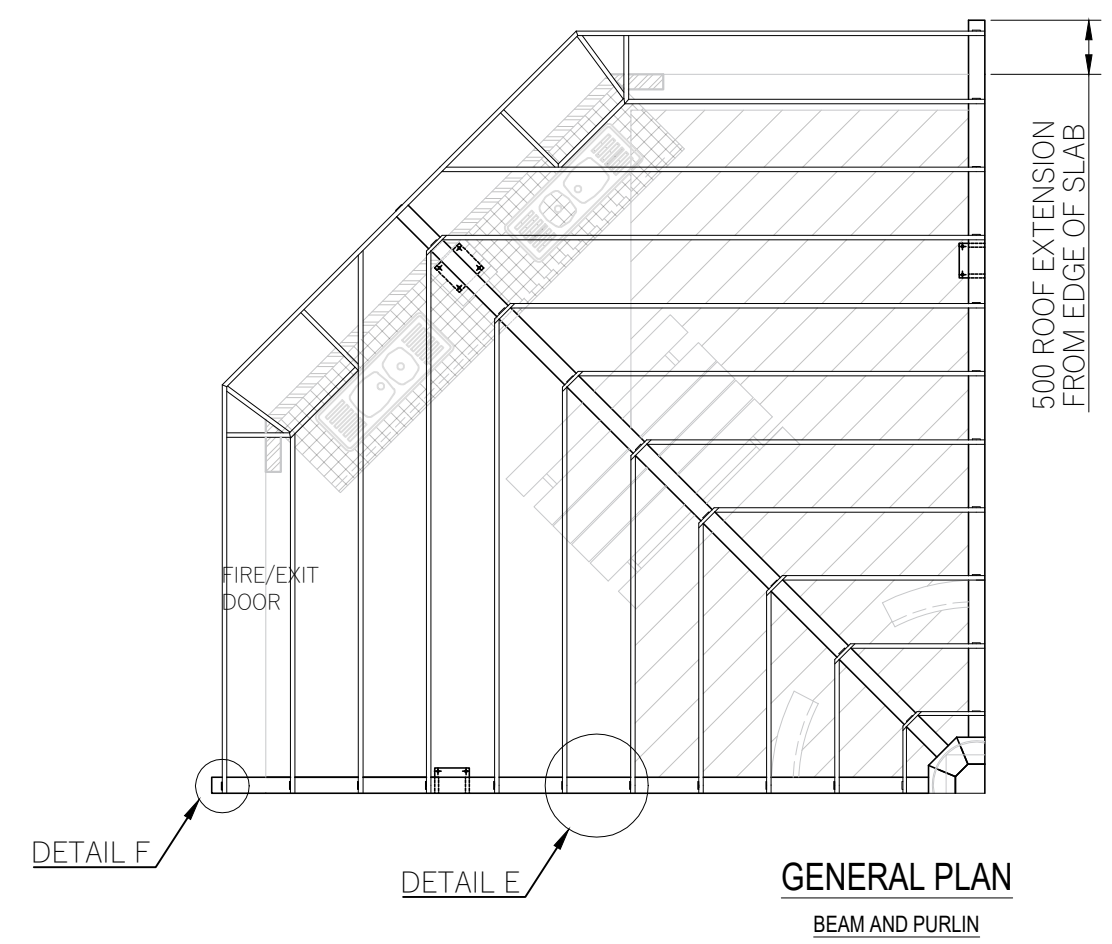
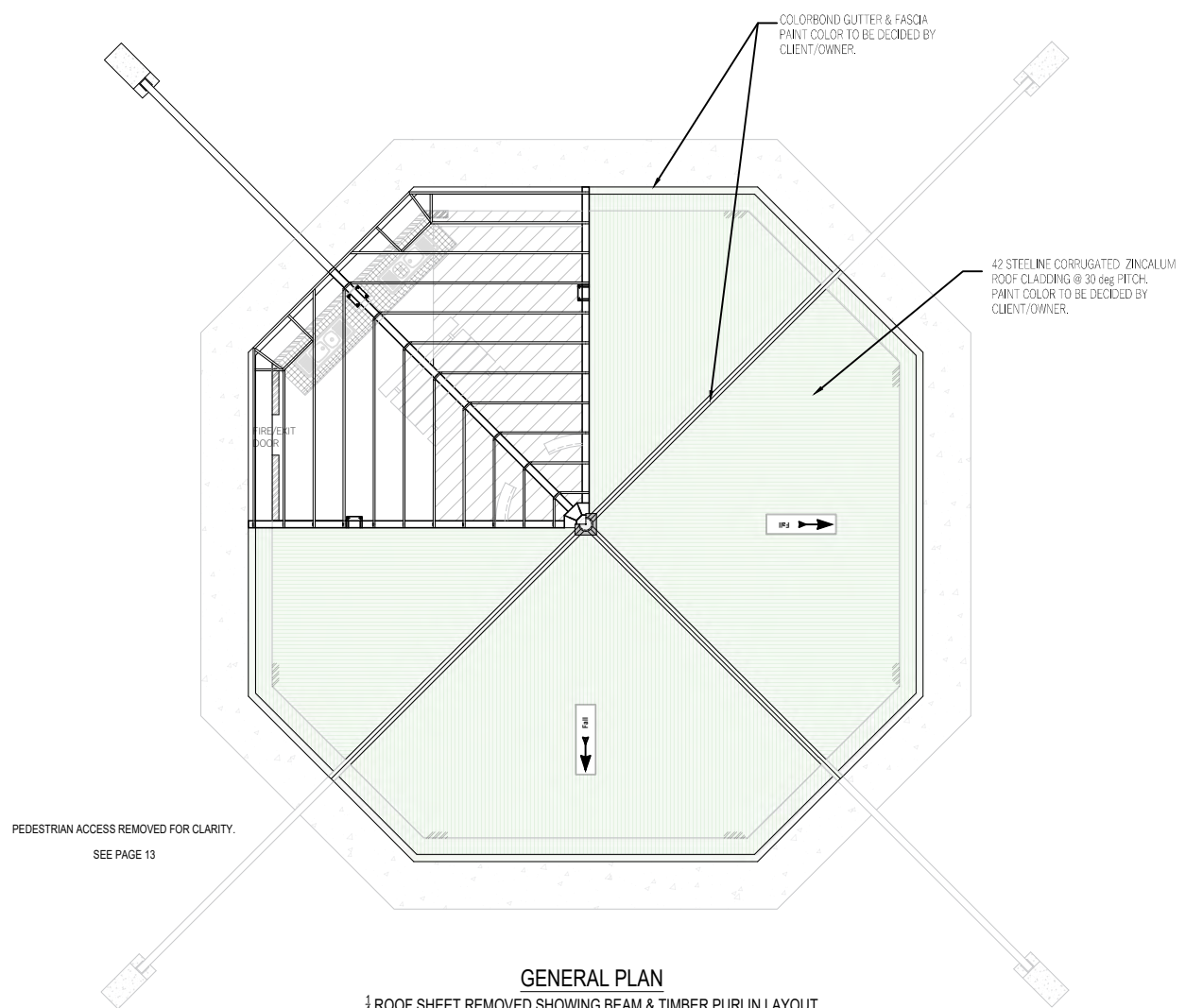
Client:  
LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

Drawing:  
BRICK WALL DETAILS

ISSUE FOR CONSTRUCTION

Designed: A.M.	Scale (A3):
Drawn: A.M.	Date: DEC 2021
Checked: A.M.	No. of Sheets: 13
Project No. 6297	Drawing No. 8
	Rev. E



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 Section 4.16(1)(a) of the  
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 Approved by Council 21 February 2022

*[Signature]*  
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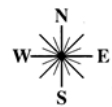
Rev.	Remark/Comment	Date	Apv.
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C	ISSUE FOR CONSTRUCTION	23.11.21	A.M
B	ISSUE FOR CONSTRUCTION SS	17.11.21	A.M
A	75% DESIGN PHASE	10.11.21	A.M

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 AUTOMOTIVE

Client: LAWRENCE ENGINEERING  
 Project: MENINDEE CAMP KITCHEN  
 Drawing: ROOF DETAILS

ISSUE FOR CONSTRUCTION			
Designed: A.M.	Scale: (A3)		
Drawn: A.M.	Date: DEC 2021		
Checked: A.M.	No. of Sheets: 13		
Project No. 6297	Drawing No. 9	Rev. E	



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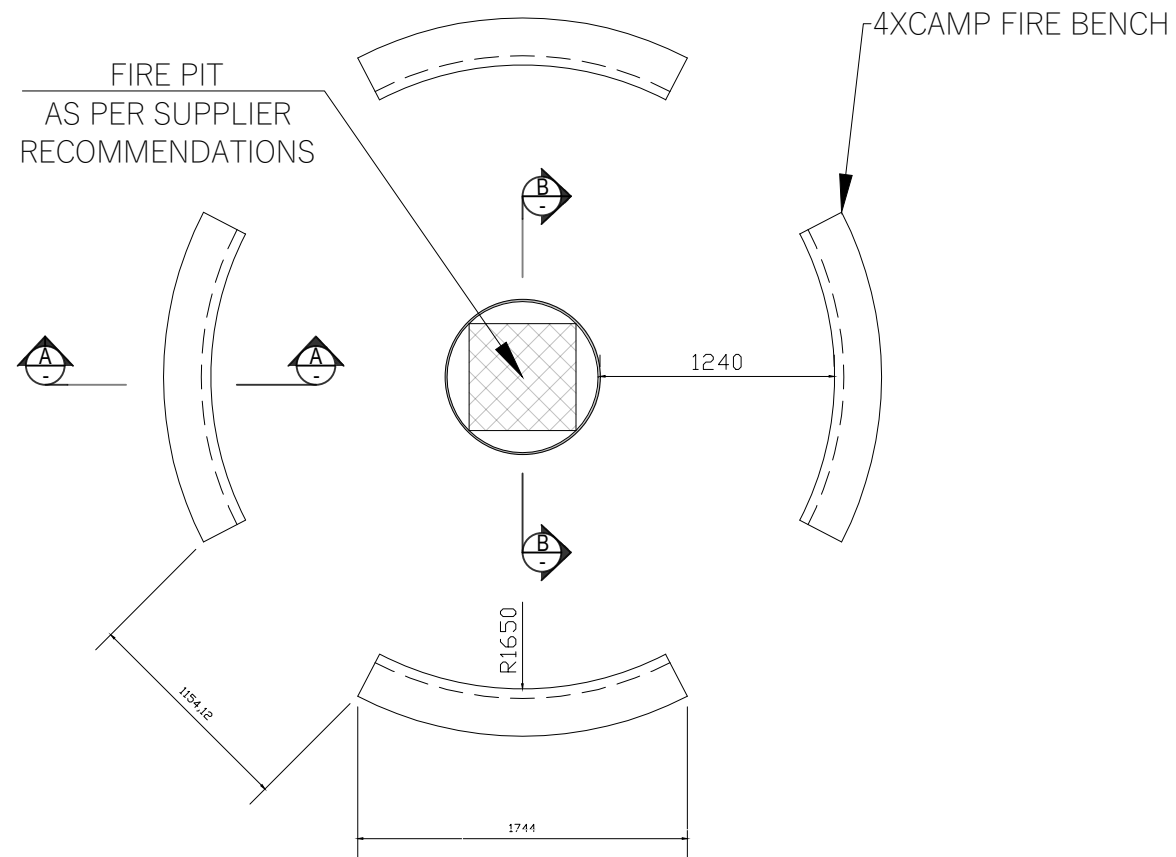
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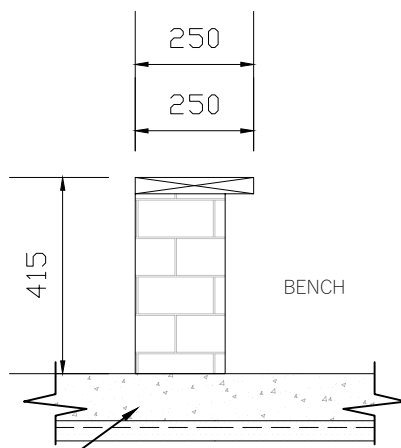
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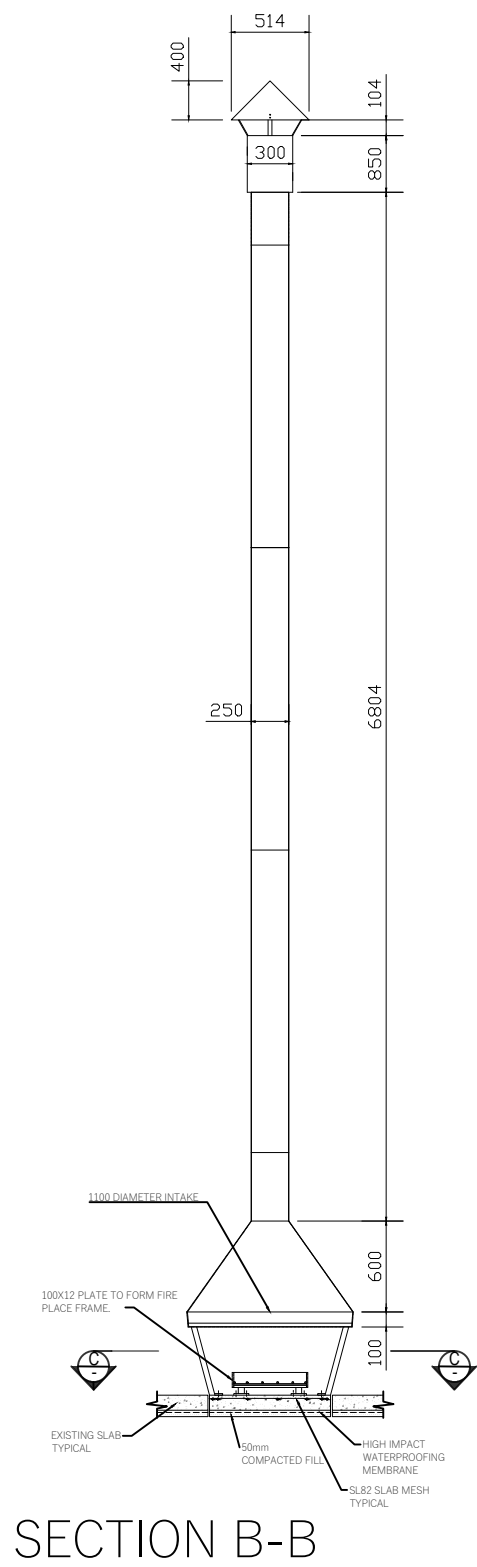
Director Shire Services



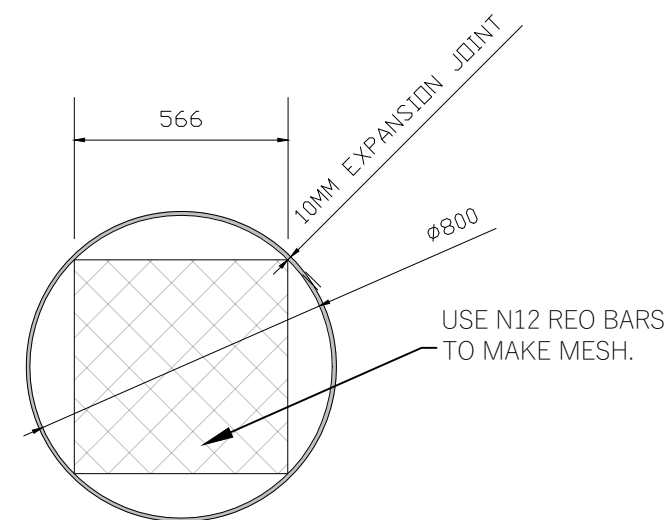
PLAN



EXISTING SLAB



SECTION B-B



SECTION C-C

Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
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AUTOMOTIVE

Client:  
LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

Drawing:  
FIRE PLACE DETAILS

ISSUE FOR CONSTRUCTION

Designed:	A.M.	Scale (A3):	
Drawn:	A.M.	Date:	DEC 2021
Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	10
		Rev.	E



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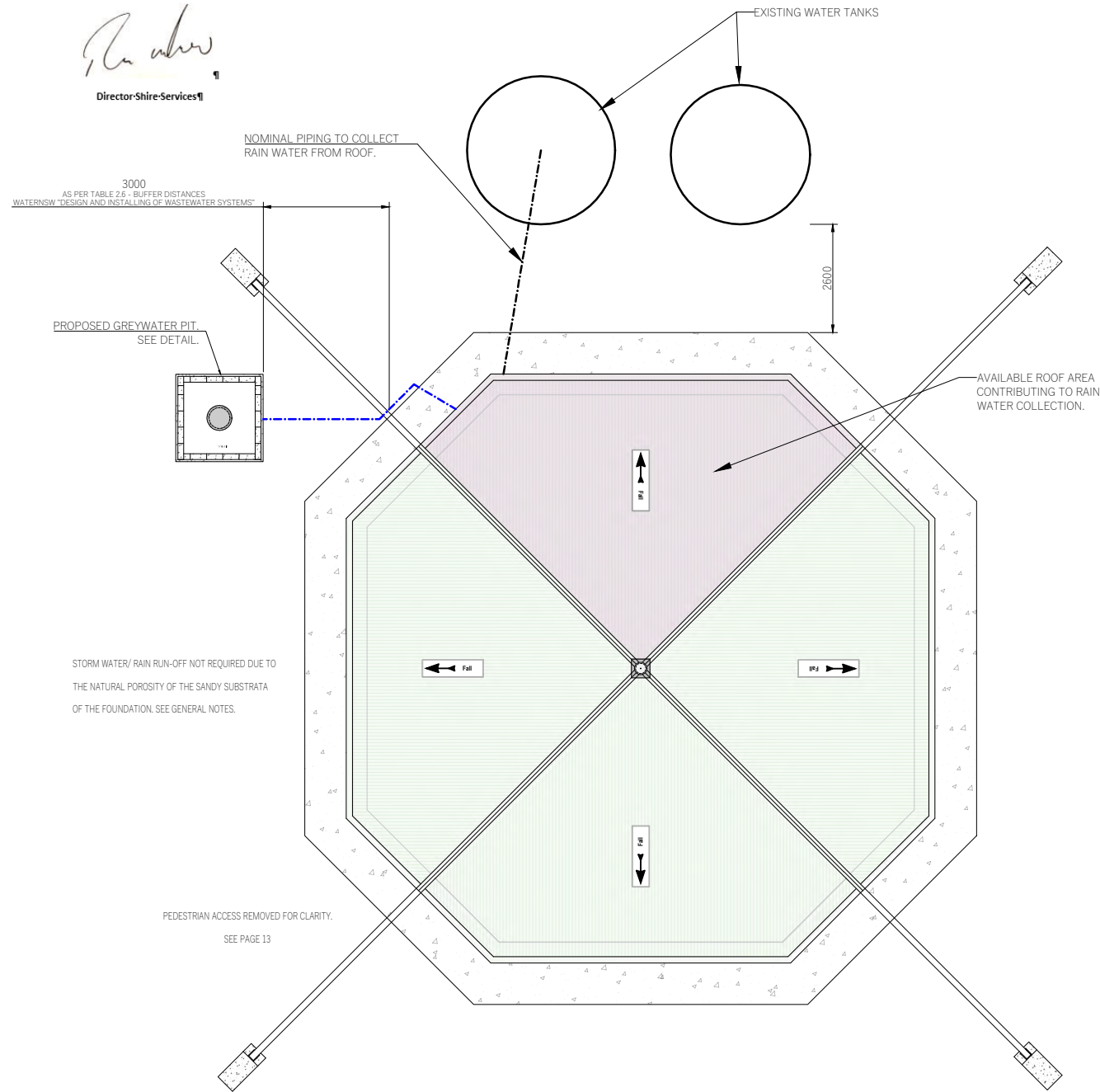
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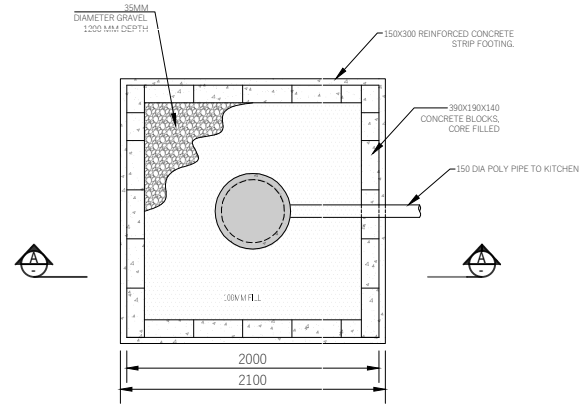
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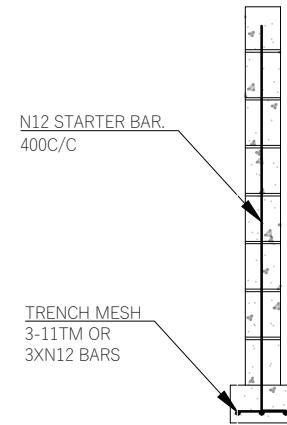
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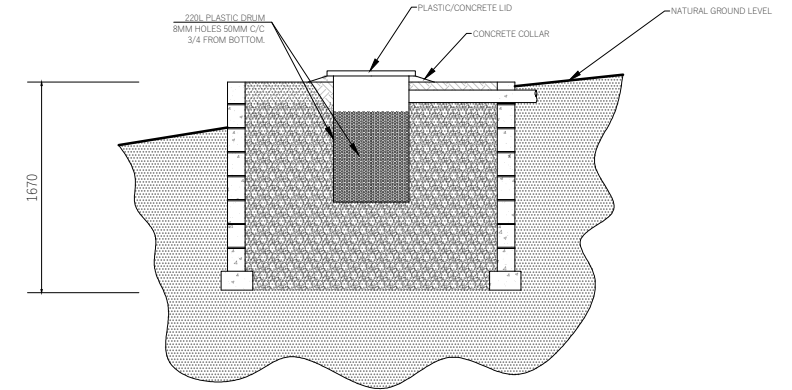
GENERAL PLAN  
PROPOSED GREYWATER DISPOSAL PIT



PLAN  
GREYWATER GRAVEL PIT DETAIL



TYPICAL WALL CROSS SECTION



SECTION A

NOTE & ASSUMPTIONS:

- ASSUMED DESIGN VOLUME OF 1400L/DAY. THIS SYSTEM ONLY ACCOUNTS FOR THE CAMP KITCHEN.
- ONLY GREYWATER TO BE DISPOSED OF VIA SYSTEM. WATER FROM WASHING BASIN ONLY.
- 220L PLASTIC DRUM WILL NEED PUMPING AS PART OF MAINTENANCE PROGRAM.
- SUBSOIL IS SANDY AS PER SOIL TEST (SEE GEOTECH REPORT DATED 22/11/2021). POROSITY OF GROUND WILL NEED TO BE TESTED. GENERALLY IT THE ASSUMPTION OF THIS DESIGN THAT GOOD POROSITY CAN BE ACHIEVED DUE TO THE DREE DRAINING SANDY SOIL.
- AVOID ANY SURFACE PONDING OF THE GREAYWATER.
- A FILTERING SYSTEM SUCH AS A MESH FILTER TO CAPTURE AND DEGRADE PARTICULATE MATTER AND FATS IN THE GREYWATER IS RECOMMENDED. FILTER MAINTENANCE NEEDS TO BE PART OF THE ONGOING PERIODIC MAINTENANCE PROGRAM.
- LEVELS, DIMENSIONS AND MEASUREMENTS ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE BY THE CONTRACTOR. SEE GENERAL NOTES.
- DIMENSIONED SIZES OF MATERIAL ARE NOMINAL ONLY AND MAY DIFFER SLIGHTLY TO ON SITE MEASUREMENTS DUE TO VARIANCE IN MANUFACTURERS PROCESSES.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT THE BUILDINGS ARE WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE SHOWN IS CORRECT.
- ALL WORK IS TO BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITIES REQUIREMENTS.

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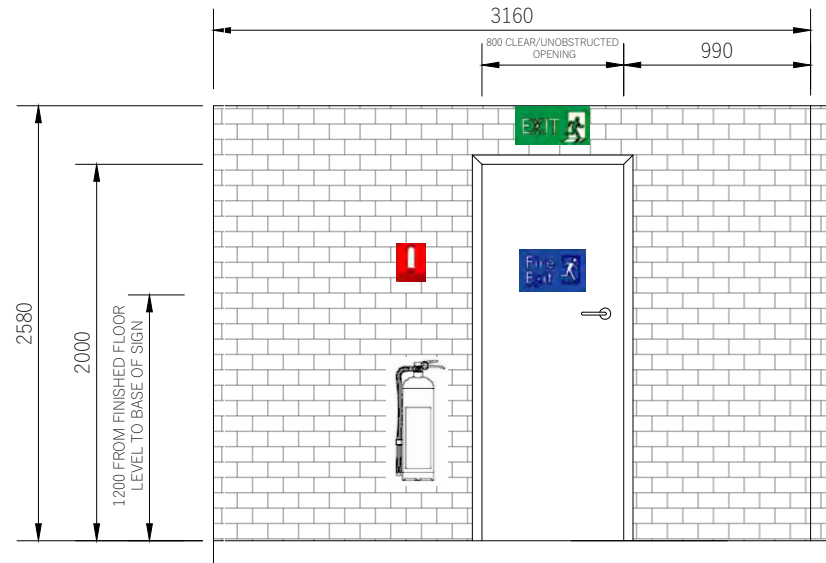
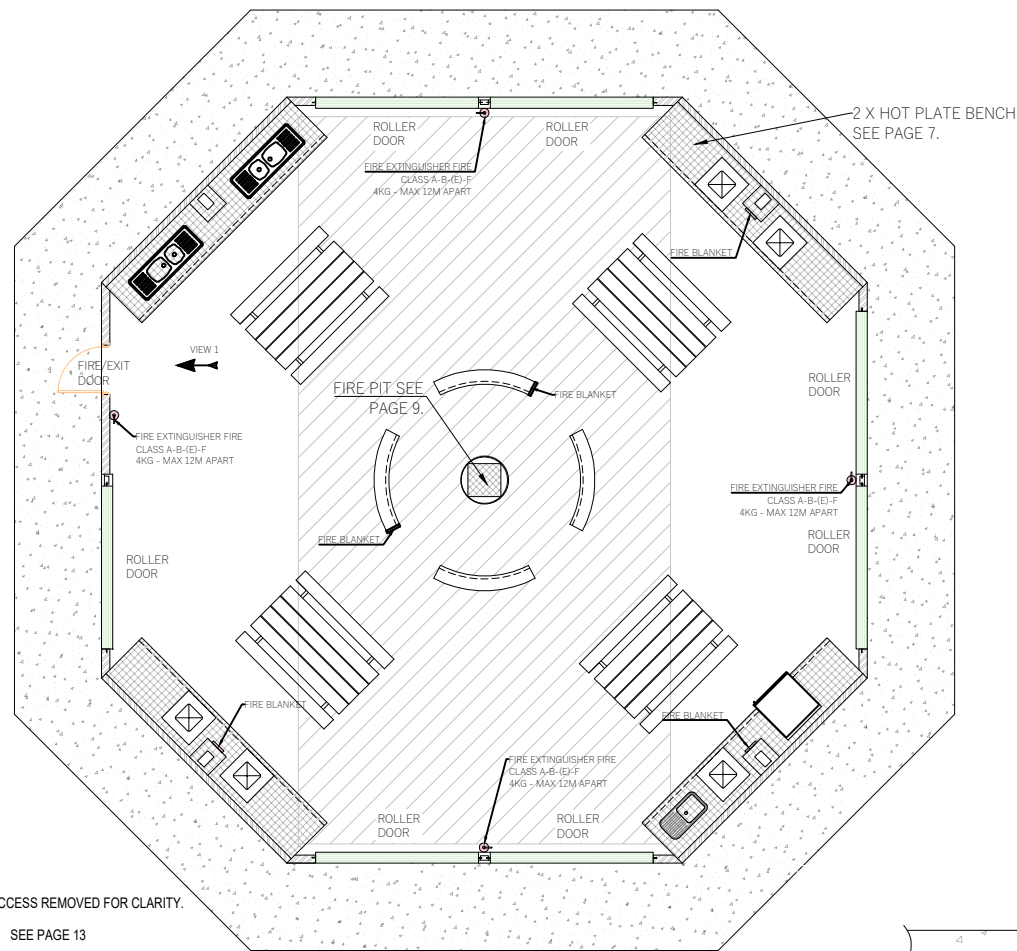
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LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

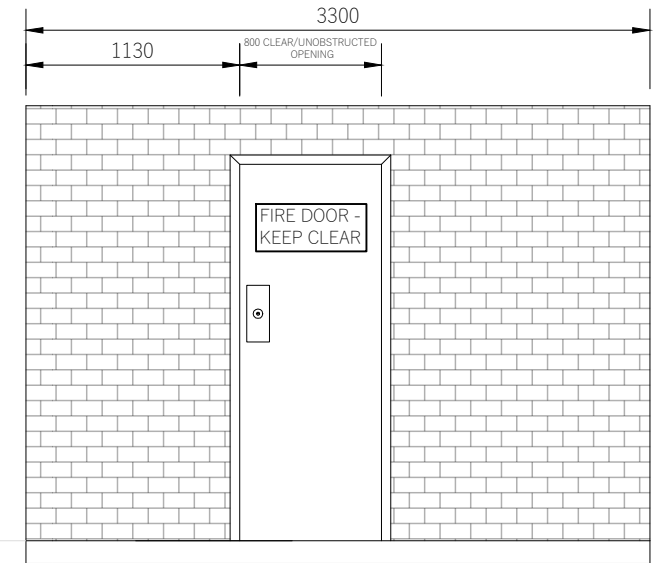
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GREYWATER DISPOSAL PIT

ISSUE FOR CONSTRUCTION

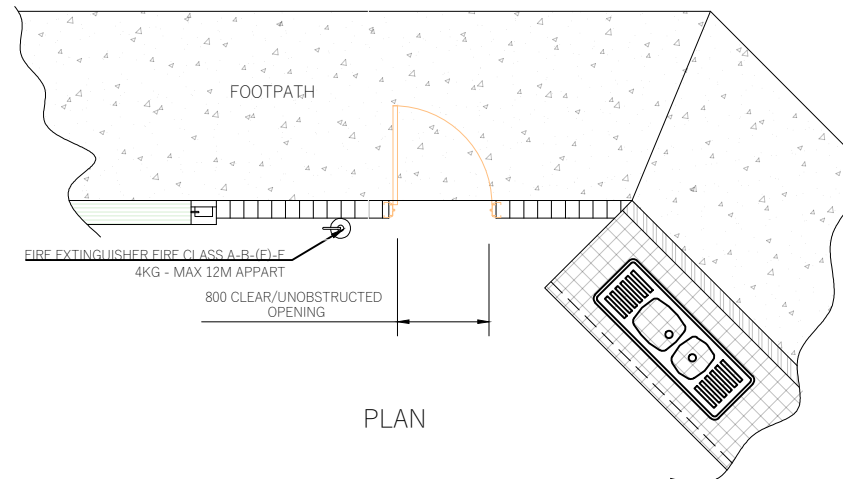
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		Rev.	E



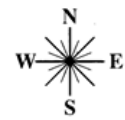
VIEW 1  
FROM INSIDE LOOKING OUT.  
DOOR TO BE UNLOCKABLE  
FROM INSIDE.



VIEW 2



GENERAL PLAN  
SHOWING FIRE EQUIPMENT



Central Darling Shire Council

D23/21-PAN-178589

Section 4.16(1)(a) of the

Environmental Planning and Assessment Act 1979

Approved by Council 21 February 2022

*[Signature]*

Director Shire Services



BRAILLE AND TACTILE SIGNAGE TO COMPLY WITH SPECIFICATION D3.6 OF BCA  
INCORPORATE THE INTERNATIONAL SYMBOL OF ACCESS, AS APPROPRIATE,  
IN ACCORDANCE WITH AS 1428.1  
DOOR MUST STATE "EXIT".

RELOCATE EMERGENCY EXIT SIGN TO NEWLY LOCATED WALL ABOVE DOOR, TO  
COMPLY WITH AS/NZS 2293.1 - 2018

## BCA VOLUME 1 - 2019

### SECTION D - ACCESS AND EGRESS RELEVANT TO DOOR

- PART D1 - PROVISION FOR ESCAPE
- EVERY BUILDING MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY.
- THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT FOR DOORWAYS, MUST BE NOT LESS THAN—  
(i) 800mm
- THE UNOBSTRUCTED WIDTH OF A REQUIRED EXIT MUST NOT DIMINISH IN THE DIRECTION OF TRAVEL TO A ROAD OR OPEN SPACE.
- DOOR MUST OPEN IN THE DIRECTION OF EGRESS

Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
C	ISSUE FOR CONSTRUCTION	23.11.21	A.M
B	ISSUE FOR CONSTRUCTION SS	17.11.21	A.M
A	75% DESIGN PHASE	10.11.21	A.M

**MEG METALINE ENGINEERING GROUP**

331 Cummins Street, BROKEN HILL, NSW, 2880  
MOB: 0484 770 945

A.C.N. 63 7312951  
[www.metaline-engineering.com](http://www.metaline-engineering.com)

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RESIDENTIAL  
GEOTECHNICAL  
BUILDING SERVICES  
PROJECT MANAGEMENT  
RAIL/ROLLINGSTOCK  
AUTOMOTIVE

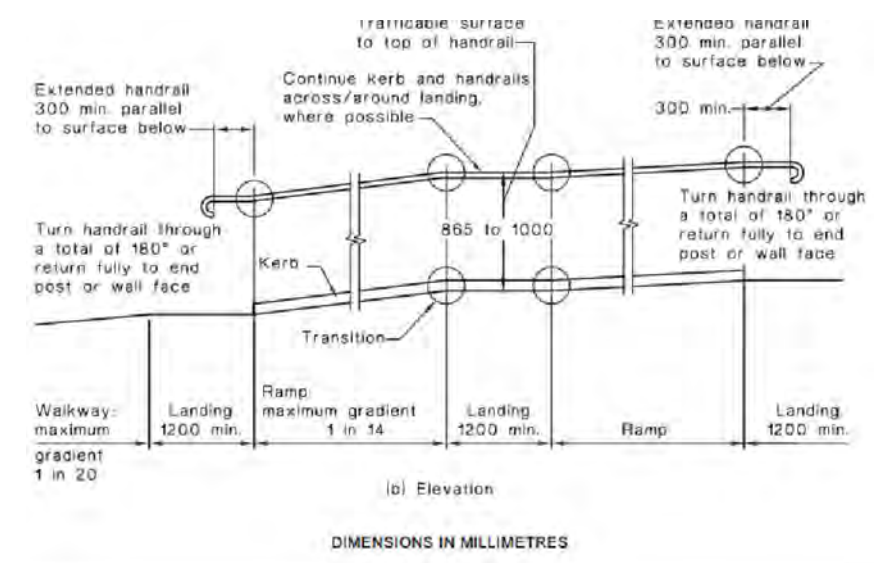
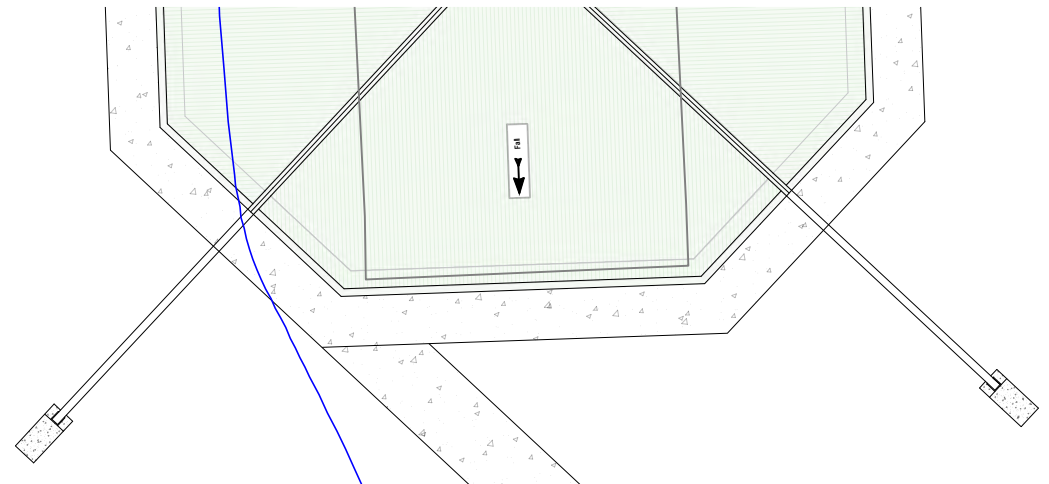
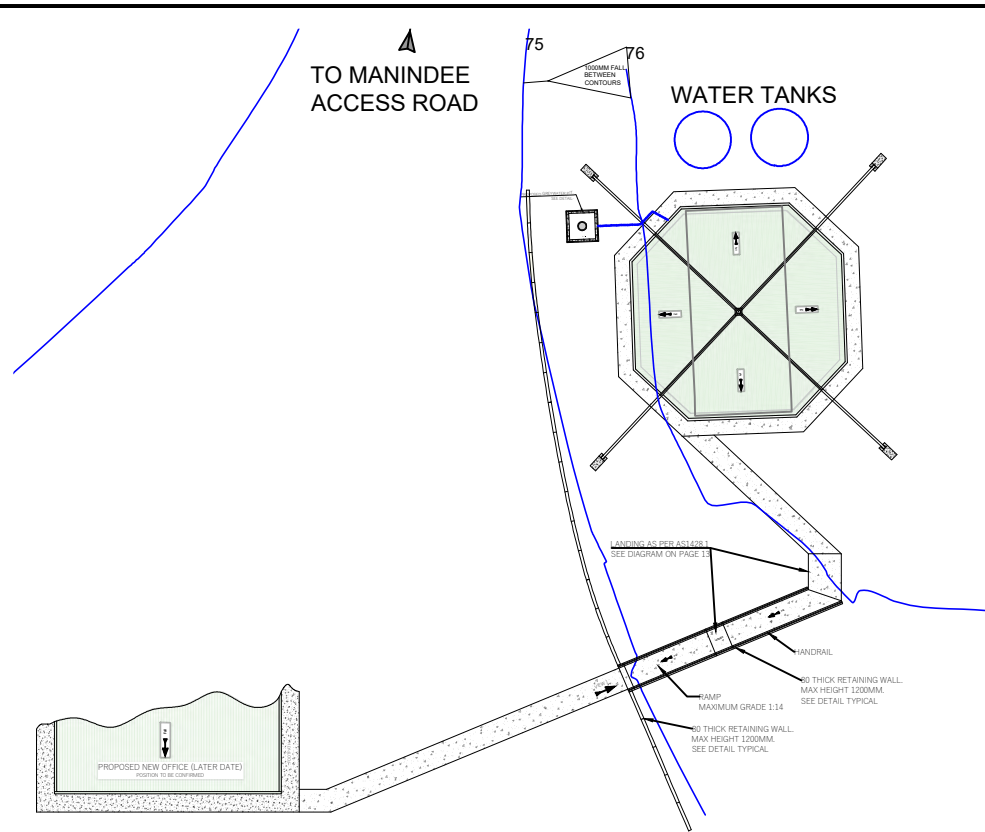
Client:  
LAWRENCE ENGINEERING

Project:  
MENINDEE CAMP KITCHEN

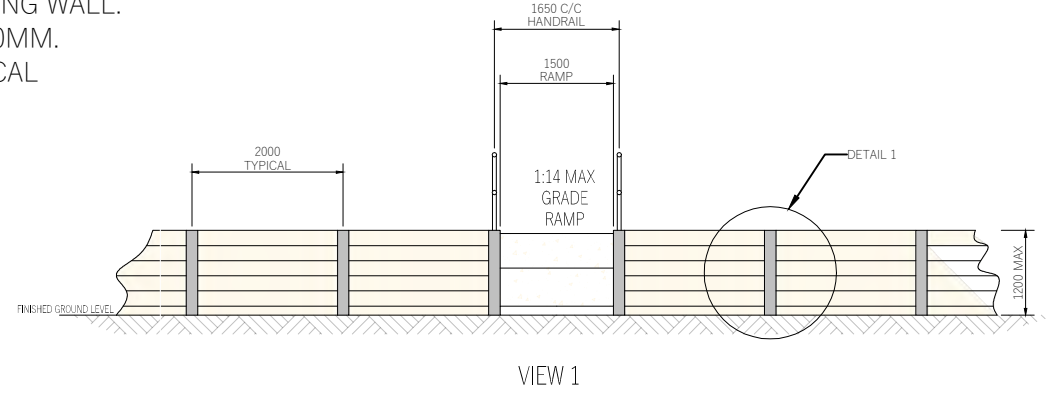
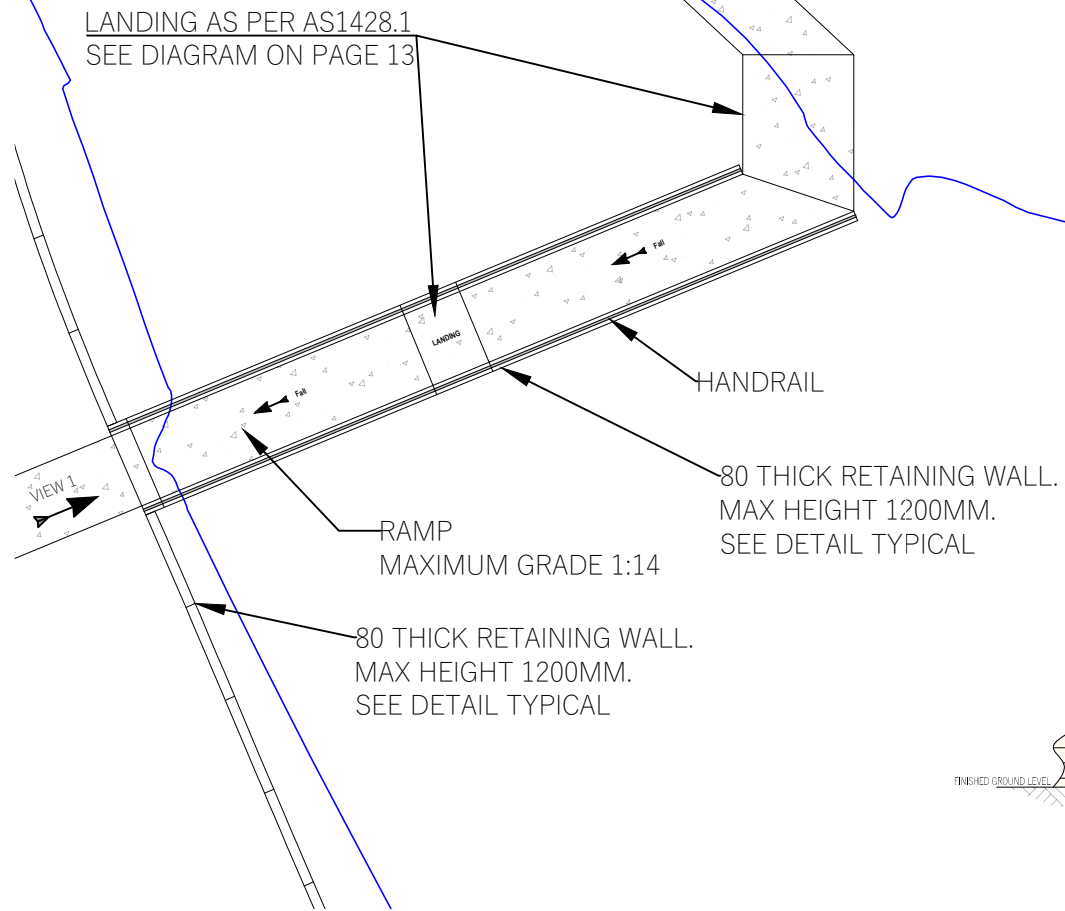
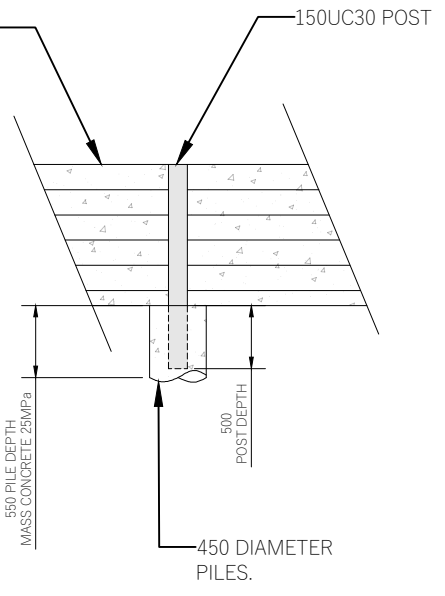
Drawing:  
FIRE ALLOCATIONS

### ISSUE FOR CONSTRUCTION

Designed:	A.M.	Scale (A3):	
Drawn:	A.M.	Date:	DEC 2021
Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	12
		Rev.	E



2000X200X80 CONCRETE SLEEPERS BY OUTBACK SLEEPERS AUSTRALIA OR SIMILAR.



Central Darling Shire Council  
D23/21-PAN-178589  
Section 4.16(1)(a) of the  
Environmental Planning and Assessment Act 1979  
Approved by Council 21 February 2022

Director Shire Services

Rev.	Remark/Comment	Date	Apv.
E	IFC	11.12.21	A.M
D	100% DESIGN FOR REVIEW	2.12.21	A.M
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RAIL/ROLLINGSTOCK  
AUTOMOTIVE

Client: LAWRENCE ENGINEERING

Project: MENINDEE CAMP KITCHEN

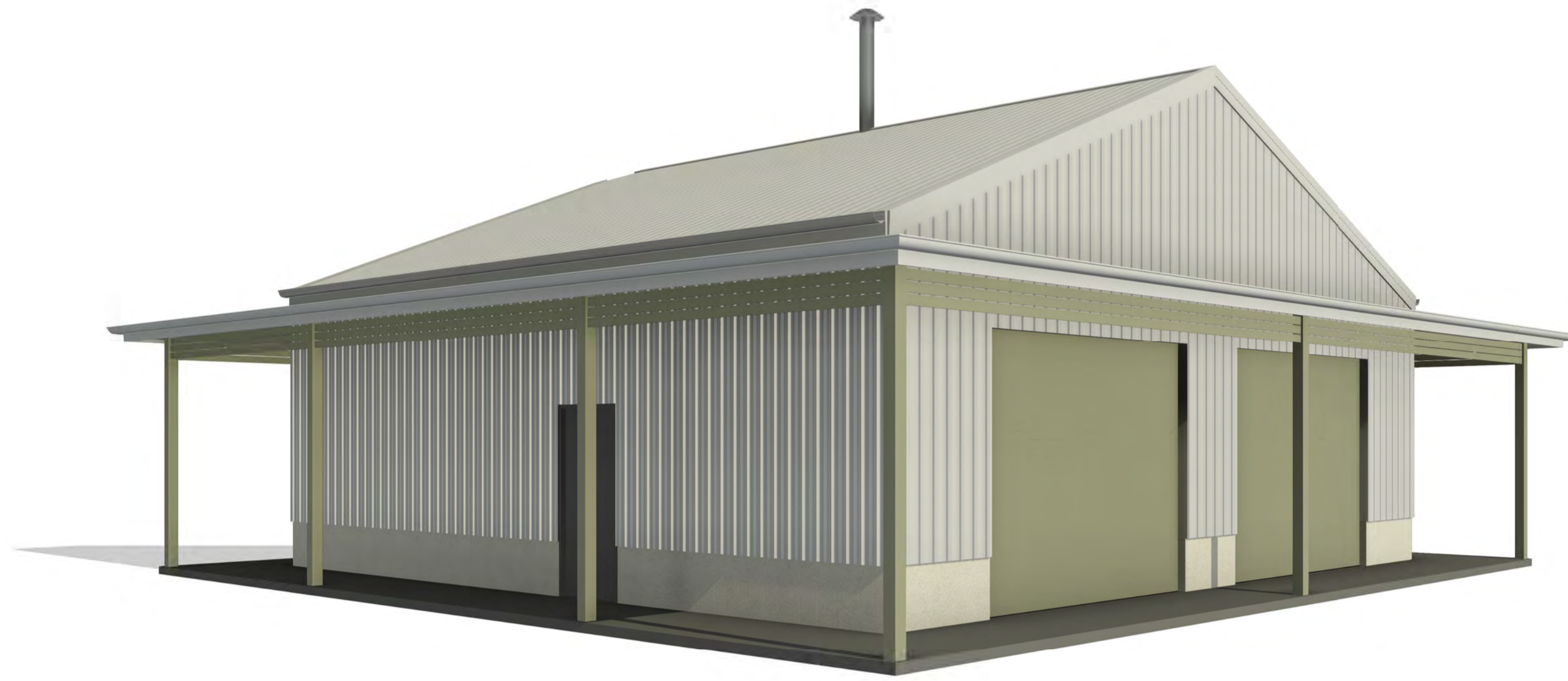
Drawing: DISABILITY ACCESS AND RETAINING WALL

ISSUE FOR CONSTRUCTION			
Designed:	A.M.	Scale (A3):	
Drawn:	A.M.	Date:	DEC 2021
Checked:	A.M.	No. of Sheets:	13
Project No.	6297	Drawing No.	13
		Rev.	E

## Attachment B – Amended Plans



# DRAFT ONLY - NOT TO BE CONSTRUCTED



## LOCALITY PLAN.



menindee aerodrome road, menindee

lot 7330, dpi195006

## DRAWING SCHEDULE.

A 00	COVER SHEET	REV C	DATED 22.02.2022
A 01	EXISTING SITE PLAN	REV C	DATED 22.02.2022
A 02	SITE PLAN	REV C	DATED 22.02.2022
A 03	OVERALL SITE PLAN	REV C	DATED 22.02.2022
A 04	PROPOSED FLOOR PLAN	REV C	DATED 22.02.2022
A 05	ELEVATIONS	REV C	DATED 22.02.2022

## PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

**classification - BCA 'part A6'**  
The building has been classified as a 'Class 10a' building - non-habitable

**rise in stories - BCA 'part C1.2'**  
The building has a rise in stories of one.

**effective height - BCA 'schedule 3 definitions'**  
The building has an effective height of zero, ie less than 25.0m.

**type of construction required - BCA 'part A6, part C1.1 - table C1.1'**  
Class 10a building - Type 'C' construction. The building has been deemed 'unconditioned'.

**climate zone - BCA 'schedule 3 definitions'**  
The building is located within climate zone 4.

## GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS1680.0 – Interior lighting - safe movement

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

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Dubbo NSW 2830  
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email. generalenquiry@barnson.com.au  
web. barnson.com.au

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Rev.	Date	Amendment
A	26.10.2022	PRELIMINARY
C	22.02.2022	ISSUED FOR DRAFT DA

Project.  
**MENINDEE LAKE CAMP KITCHEN**

Site Address.  
**MENINDEE ROAD, MENINDEE, NSW, 2879**

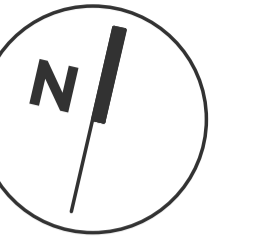
Client.  
**DEPT OF PUBLIC WORK AND SERVICES**

Drawing Title.  
**COVER SHEET**

Scale.	As indicated @ A1	Drawn.	CM
Sheet.	01 of 06	Checked.	
Project No.	040073	Revision.	C

Drawing No.

**040073-  
A00**



**02 EXISTING SITE LAYOUT**  
 Scale 1 : 150 @ A1  
 0 1500 3000 6000 15000

- EXISTING SITE LEGEND**
- existing major contours
  - - - existing minor contours
  - ▭ existing buildings & structures
  - existing driveways
  - overhead electrical lines
  - - -•- underground water lines
  - - - - - existing fence line

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Rev.	Date	Amendment
A	26.10.2022	PRELIMINARY
B	22.02.2023	CLIENT AMENDMENTS
C	22.02.2022	ISSUED FOR DRAFT DA

Project.  
**MENINDEE LAKE CAMP KITCHEN**

Site Address.  
 MENINDEE ROAD, MENINDEE, NSW, 2879

Client.  
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Drawing Title.  
**EXISTING SITE PLAN**

Scale. As indicated @ A1  
 Sheet. 02 of 06

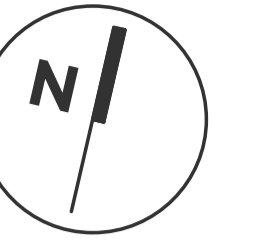
Project No. 040073

Drawn. CM  
 Checked.  
 Revision. C

Drawing No.

**040073-  
 A01**

# DRAFT ONLY - NOT TO BE CONSTRUCTED



**03** **SITE LAYOUT**  
 Scale 1 : 150 @ A1  
 0 1500 3000 6000 15000

NOTE: refuse bins provided by park

## SITE NOTES.

### GENERAL

This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- notify a.G.L.
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setout to be carried out by a registered surveyor.

### DRAINAGE

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

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Rev.	Date	Amendment
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C	22.02.2022	ISSUED FOR DRAFT DA

Project.  
**MENINDEE LAKE CAMP KITCHEN**

Site Address.  
 MENINDEE ROAD, MENINDEE, NSW, 2879

Client.  
 DEPT OF PUBLIC WORK AND SERVICES

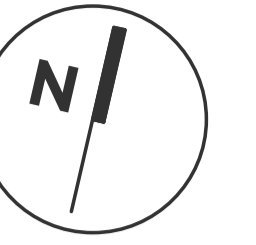
Drawing Title.  
**SITE PLAN**

Scale.	As indicated @ A1	Drawn.	CM
Sheet.	03 of 06	Checked.	
Project No.	040073	Revision.	C

Drawing No.

**040073-  
 A02**

**DRAFT ONLY - NOT TO BE CONSTRUCTED**



**04** **OVERALL SITE LAYOUT**  
 Scale 1 : 750 @ A1  
 0 7500 15000 30000 75000

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B	22.02.2023	CLIENT AMENDMENTS
C	22.02.2022	ISSUED FOR DRAFT DA

Project.  
**MENINDEE LAKE CAMP KITCHEN**

Site Address.  
 MENINDEE ROAD, MENINDEE, NSW, 2879

Client.  
 DEPT OF PUBLIC WORK AND SERVICES

Drawing Title.  
**OVERALL SITE PLAN**

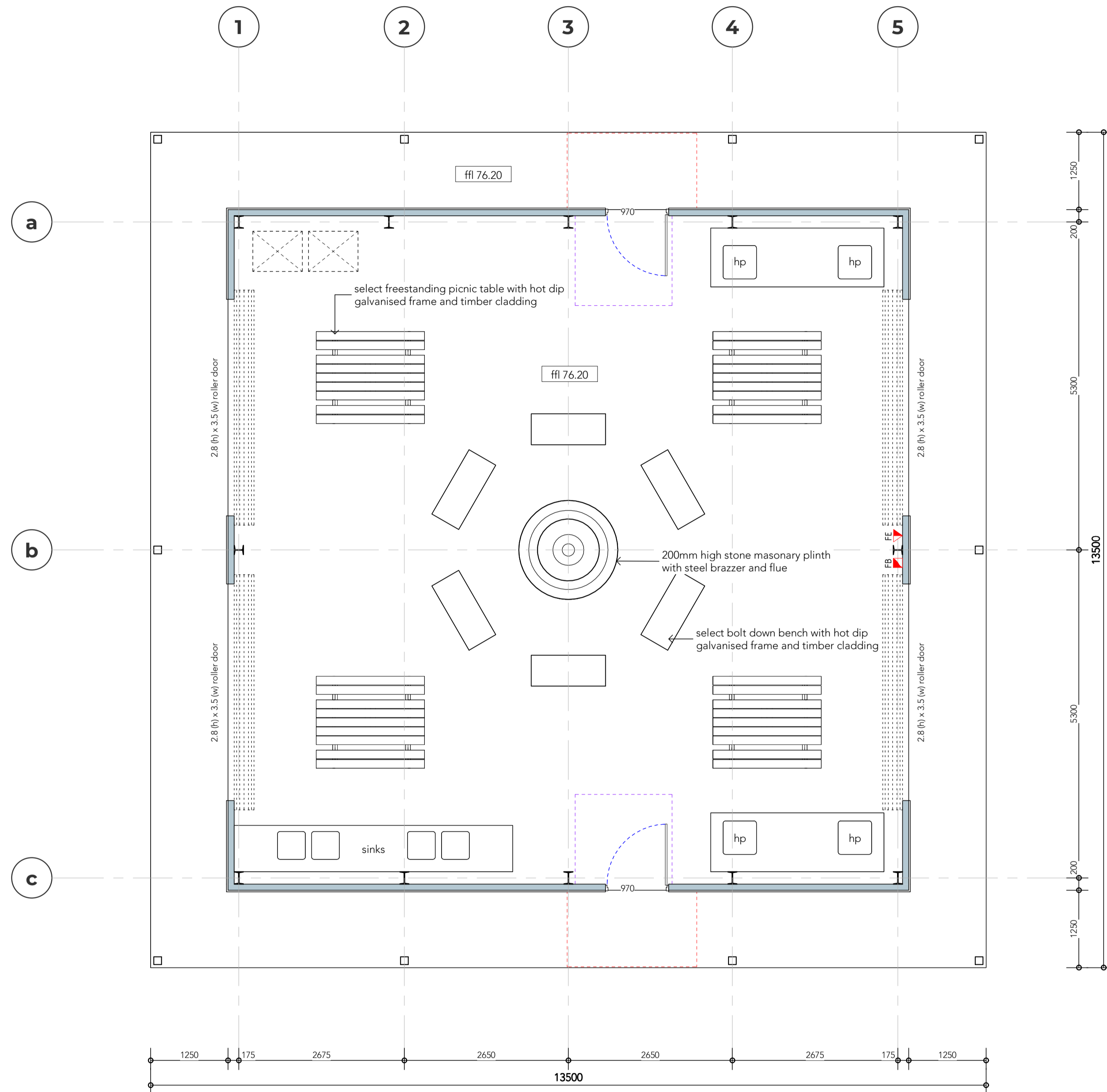
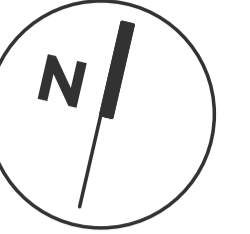
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 Sheet. **04 of 06**

Project No. **040073**

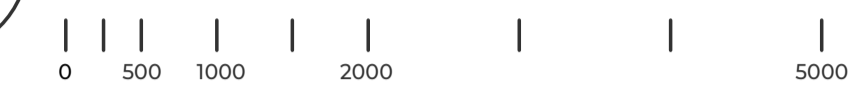
Drawing No.

CM  
 C

**040073-  
 A03**



**05 FLOOR PLAN - GENERAL ARRANGEMENT**  
 Scale 1: 50 @ A1



**AREA SCHEDULE.**

Verandah	61.25 m <sup>2</sup>
Camp Kitchen	121.00 m <sup>2</sup>
<b>OVERALL TOTAL</b>	<b>182.25 m<sup>2</sup></b>

- LEGEND.**
- fire blanket
  - fire extinguisher A:B(E) powder type

**FIRE NOTES.**

fire safety measures

*Essential fire safety measures as shown on adjacent plan are as follows:-*

- Fire extinguisher type powder a:b(e) - 1
- Fire blanket - 1

fire services

Portable fire extinguishers & fire blankets to cover class a-e fire risk to be provided in accordance with 'Table E1.6' of the BCA, Vol. 1, 2019, & selected, located & distributed in accordance with sections 1, 2, 3 & 4 of 'AS2444'.

For all portable extinguisher types 'AS2444:2001' allows higher mounting if the unit is likely to be dislodged - refer to the BCA, Vol. 1, 2019 & 'AS2444:2001' for details.

Fire extinguishers & fire blankets shall be clearly identified with the appropriate location sign as per 'AS2444:2001'.

During construction, not less than one fire extinguisher to suit class A, B or C fires is required to be located adjacent to each exit in accordance with the BCA, Vol. 1, Part E1.9.

*Automatic shutdown of the air handling system must be provided in accordance with Table E2.2B, of the BCA, Vol 1 - Appendices, on activation of smoke detectors installed complying with Clause 5 of specification E2.2a of the BCA Vol. 1 2019.*

fire hazard properties

New floor material & coverings to have a max. Critical radiant flux to comply with 'Table 1' of 'Specification C1.10a' of the BCA, Vol. 1, 2019. Must also have a max. Smoke development rate of 750 percent- minutes as specified in 'Specification C1.10a' of the BCA, Vol. 1, 2019. Specified materials are to be confirmed with manufacturer for compliance in this regard.

New wall & ceiling lining materials are to comply with Table 2 of 'Specification C1.10a' of the BCA, Vol. 1, 2019.

New materials & assemblies other than floor materials, floor coverings & wall & ceiling linings are to comply with the fire hazard properties as specified in 'Part C1.10' of the BCA, Vol. 1, 2019.

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Rev.	Date	Amendment
A	26.10.2022	PRELIMINARY
B	22.02.2023	CLIENT AMENDMENTS
C	22.02.2022	ISSUED FOR DRAFT DA

Project:  
**MENINDEE LAKE CAMP KITCHEN**

Site Address:  
 MENINDEE ROAD, MENINDEE, NSW, 2879

Client:  
 DEPT OF PUBLIC WORK AND SERVICES

Drawing Title:  
**PROPOSED FLOOR PLAN**

Scale: **As indicated @ A1** | Drawing: **CM**

Sheet: **05 of 06** | Checked:

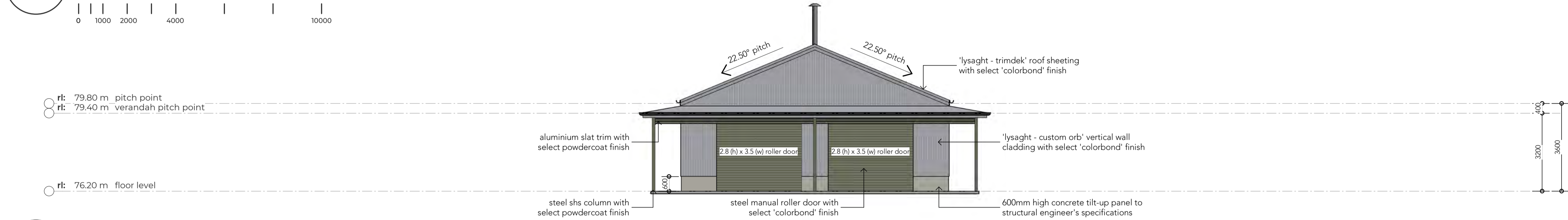
Project No. **040073** | Revision: **C**

Drawing No.  
**040073-  
 A04**

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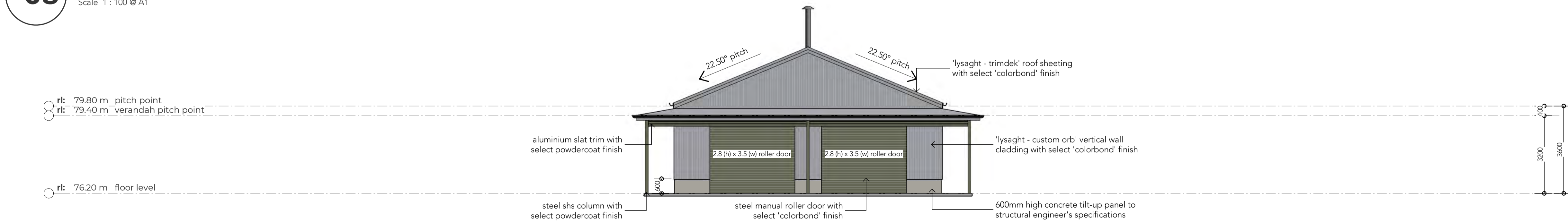
**06** ELEVATION. NORTH FACADE  
Scale 1 : 100 @ A1



**07** ELEVATION. EAST FACADE  
Scale 1 : 100 @ A1



**08** ELEVATION. SOUTH FACADE  
Scale 1 : 100 @ A1



**09** ELEVATION. WEST FACADE  
Scale 1 : 100 @ A1

LEGEND

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Site Address:  
**MENINDEE ROAD, MENINDEE, NSW, 2879**

Client:  
**DEPT OF PUBLIC WORK AND SERVICES**

Drawing Title:  
**ELEVATIONS**

Scale:	1 : 100 @ A1	Drawn:	CM
Sheet:	06 of 06	Checked:	
Project No.	040073	Revision:	C

Drawing No.

**040073-  
A05**