

to.
General Manager
Central Darling Shire Council
Att. Reece Wilson
21 Reid Street
Wilcannia NSW 2836

date.
20.11.2023

reference.
32342-PL03

Dear Sir

**Re: Development Application (DA) Approval D/08/2022 – PAN 259864 –
Community Health Facility**

Site: Bonney Street, Wilcannia

Subject: Section 4.55(1a) DA Modification

We act on behalf of Maari Ma who are the applicant for the subject DA modification.

The development the subject of this application is Community Health facility at Lot 4 DP 1201089, Lot 2 DP 1201089, Lot 3 DP 1201089, Lot 111 DP 1201028 at Bonney Street Wilcannia NSW 2836.

There are two distinct conditional matters holding up the release of the Occupation Certificate (OC) which we seek to modify. Those conditional matters are of minimal environmental impact such that the development will remain substantially the same development as originally granted. Therefore, as outlined below we seek to modify these particular consent conditions pursuant to Section 4.55(1A) of the *Environmental Planning and Assessment Act 1979*.

1. Fencing enclosing the buildings

This modification seeks to modify the requirements for fencing beneath the buildings on the site.

Fencing as conditioned by the original development consent

2.16 provides:

2.16 The underside of the 3 buildings is to be left open so as not to restrict overland flows and can only be enclosed with vertical metal security bars or palisade fencing.

This is the only mention of palisade fencing in the development consent.

Clause 5.4 of the development consent requires that:

"All landscaping, fencing and driveways are to be provided in accordance with the approved plans, and the details submitted and approved as part of the Construction Certificate".

Condition 6.12 of the development consent provided:

All fencing shall be completed in accordance with the approved details submitted as part of the Construction Certificate. All fencing work must be provided at full cost to the

developer. The selected fencing material/design must also minimise/eliminate the potential for graffiti attacks. Where possible, foliage should be grown on/over fencing adjacent to public areas to minimise potential for graffiti.

Construing these conditions together, under the original consent, all fencing must be as approved by the construction certificate EXCEPT for fencing enclosing the underside of the buildings.

Fencing provided by the Construction Certificate

The Construction Certificate was issued by BG+M dated 22 December 2022. That Construction Certificate relied upon a range of documents identified in a table, including at item 11 the Landscape Design Statement by Outer Space dated 13 December 2022.

The Landscape Design Statement lists the drawings relied upon. One of those drawings is the Legend and General Notes, which is Drawing L002. That drawing provides that:

FOR FENCE, REFER TO SELECTIONS SCHEDULE

The Landscape Selections Schedule is Document OS693. On page 2 of that Schedule at Category 3.04 is the specification which has been approved for the fence. The Specification provides:

Description: chain link fence

Materials: heavy galvanised wire

Dimensions: 1.8 m High

Colour: galvanised

A photo is provided in the column headed "Image" which clearly depicts a galvanised chain wire fence.

In summary, at this stage, fencing was required to be in galvanised chain wire, except where it enclosed the underside of a building, when it could only be enclosed with vertical metal security bars or palisade fencing.

The construction certificate became part of the development consent (s.4.16 of the EP&A Act). Construing the documents together, it is likely that the generic specification of "fence" in the CC would give way to the specific condition for fencing enclosing the buildings in condition 2.16. The development would still have to comply with condition 2.16, however no colour was specified for the fencing.

Fencing as modified by modification D06/2023

The development consent was relevantly modified on 19 July 2023 by the addition of the following words in condition 6.12

"Fencing amended in modification D06/2023 19 July 2023"

The reference to modification D06/2023 is a reference to the approval of modification application D06/2023. The modification application is not normally included as part of the development consent but in this case it must be incorporated out of necessity in order to construe and give meaning to the modification granted by the Council. The modification application, in the section labelled "Description of the proposed modification" stated:

"Black plastic coated Cyclone fencing to be used instead of Black Palasade (sic) fencing as per the DA Conditions".

The fencing study which accompanied the application and which was approved foreshadows fencing partially enclosing part of the Nerve Centre Building and the Keeping Well Building. This is the fencing which was originally conditioned by condition 2.16 to be vertical or "palisade" fencing and which the modification application sought to amend.

The Council granted consent to that application.

At this stage, all fencing is approved as galvanised chain wire, except for the parts enclosing the buildings, which must be black chain wire.

Conclusion with respect to Fencing

The Landscape Selection Schedule is a document incorporated by reference into the Construction Certificate which was issued on 22 December 2022 and governs the method of construction of fences on the site, which must be galvanised chain wire. It is however modified by modification D06/2023, a later document, with respect to fencing under the buildings, where black chain wire fencing is required.

Galvanised fencing has been constructed for all fencing in accordance with the approved details submitted as part of the Construction Certificate (CC). Galvanised chain link material fencing has been chosen as a strong, durable, economical, and secure material. It also minimises the potential for graffiti, fulfilling the intent of condition 6.12. The change from black to galvanised chain wire, for those sections of fence which enclose the underside of the buildings, will not have any adverse aesthetic impacts. It is a material widely used in the locality. Making all fencing galvanised will make it a consistent finish for fencing on the whole of the site.

Therefore, we recommend the following modifications be supported to allow the OC to be issued:

Delete condition 2.16.

Delete the words "Fencing amended in modification D06/2023 19 July 2023" in condition 6.12.

Insert the following words at the end of condition 6.12: "All, fencing, including any fencing enclosing the underside of the buildings on the site, shall be of galvanised chain wire construction."

2. Easement condition

The Council originally imposed in the development consent a number of conditions requiring an easement for drainage of water three metres wide through the site. The requirement for an easement for drainage three metres wide was the subject of a modification application D/08/2022 to delete the requirement which was approved on 26 October 2022. That application noted that:

The 3m verge as described in the above condition was not proposed in the design submitted as part of the development application. No reason is provided in the determination for the imposition of this condition. A sketch showing the approximate location of the swale/easement is provided in Attachment B.

As shown on the sketch the subject swale is primarily located within the Bonney Street road reserve. It then meanders to the west through to adjoining land. It does not encroach the subject site where the health clinic building is to be located.

This swale carries stormwater runoff from Ross and Bonney Streets. An existing culvert is in Ross Street which coincides with the subject swale/table drain.

In short, the existing drainage line which was to be serviced by the easement isn't even on the Applicant's land. The requirement sought to be imposed by the conditions we seek to remove would have collected stormwater unrelated to the development from adjacent land and directed it onto the Applicant's land, where an easement in favour of the Council would have been created.

Condition 3.36(x) of the original consent was requested to be deleted in modification application D/08/2022 . Council agreed to its deletion. The development has been constructed with no place for the easement. However, other conditions relating to the proposed easement found further on in the consent were overlooked at the time the modification application was made. These conditions remain in the consent and these are the subject of the present modification application to delete them.

Condition 6.24 – Any easement(s) or restriction(s) required by this consent must nominate Central Darling Shire Council as the authority to release, vary, or modify the easement(s) or restriction(s). The form of easement or restriction created as a result of this consent must be in accordance with the following:

- (a) Any requirements of Central Darling Shire Council.*
- (b) The standard format for easements and restrictions as accepted by NSW Land Registry Services.*

Condition 6.25 – Restrictions and/ or positive covenant must be endorsed by Council and lodged with NSW Land Registry Services over the overland flow-path.

Condition 6.26 - The creation of an Easement in Gross to Drain Water, with a minimum width of 3.0m in favour of Central Darling Shire Council over the following nominated lot(s) free of cost to Council. The alignment of the easement shall generally follow the drainage lines TD1 and TD2 on the northern side of the site as shown on Barnson Pty Ltd Drawing No 32342-C03 Revision B dated 23-04-02021. The easement must be created under the Conveyancing Act 1919 and have the nominated lot(s) burdened and Central Darling Shire Council as benefiting authority.

Therefore, we seek that the following amendment be supported to allow the OC to be issued:

Delete conditions 6.24, 6.25 and 6.26.

Conclusion

The proposed development as modified provides minimal environmental impacts and shall remain substantially the same development as originally granted.

Please also note that based on the above proposed modification and pursuant to S4.55(1A)(c) of Environmental Planning and Assessment Act, 1979 there is no requirement in the Act or the Environmental Planning and Assessment Regulation 2021 for the application to be re-notified or be on exhibition for any period. Regulation 98(4) provides the following obligation on the Applicant, not on the Council, to give public notice, not to renotify or call for submissions:

(4) *The applicant must give notice of the modification application—*
(a) to the owner of the land before the modification application is made, or
(b) by publishing, no later than 14 days after the modification application is made. a
notice

in a newspaper circulating in the area in which the development will be carried out.

The facility is a community health facility which is ready to be occupied and for which there is significant need in the community. It was constructed at a cost of approximately \$7 million. The amendments constitute:

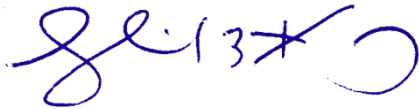
1. A small overall change to fence colour in limited sections of fencing where the original consent did not limit the colour of the fence at all; and
2. The removal of the easement conditions to reflect the intent of the modification already approved by the Council.

We ask that the Council consider the modification application at its earliest convenience.

Please feel free to contact me with any queries.

Yours faithfully,

BARNSON PTY LTD



Jim Sarantzouklis MAIBS (Assoc.) MEHA MAICD RPIA
DIRECTOR

**Attachment A – Construction Certificate by BM&G &
Landscape Design Statement &
Landscape Drawings and Selections Schedule**



CONSTRUCTION CERTIFICATE

Pursuant to Part 6 of the Environmental Planning & Assessment Act 1979

CERTIFICATE NO.:	CC-22253
TYPE:	<input checked="" type="checkbox"/> Building Work
DETERMINATION:	Approved
DATE OF DETERMINATION:	22 December 2022
SUBJECT LAND:	
Lot & DP	Lot 2, 3 & 4 DP 1201089 Lot 111 DP1201028
Address	Bonney Street, Wilcannia NSW 2836
LOCAL GOVERNMENT AREA:	Central Darling Shire Council
APPLICANT:	
Name	Andrew O'Loughlin
Company	Troppo Architects
Address	28 East Terrace, Adelaide SA 5000
Phone	Mobile: 0432 941 202
Email	Andrew.oloughlin@troppo.com.au
OWNER:	
Name	Cathy Dwyer
Address	2 Oxide Street, Broken Hill NSW 2880
Phone	Mobile: 0419 973 834
Email	Cathy.Dyer@maarima.com.au
DESCRIPTION OF DEVELOPMENT:	Construction of a Community Health Facility for the Maari Ma Health Aboriginal Corporation to serve Wilcannia. <i>Note:</i> 1. This Construction Certificate excludes any external ancillary services, structures or civil works required by relevant authorities.
BCA CLASSIFICATION:	Class 5
DEVELOPMENT CONSENT:	
Development Application No. & Date of Determination	D/20/2021-PAN 158296 (08.08.2022) & D/08/2022-PAN 259864 (26.10.2022)
STATUTORY CERTIFICATION:	Work completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021 as are referred to in Part 6 of the Environmental Planning & Assessment Act 1979.
APPROVED PLANS:	Refer to Schedule 1
FIRE SAFETY SCHEDULE:	Refer to Schedule 2
CONDITIONS:	Refer to Schedule 3
CERTIFYING AUTHORITY DETAILS:	
Certifying Authority	Blackett Maguire + Goldsmith Pty Ltd
Accreditation No.	RBC00004
SIGNATURE:	 Date: 22/12/2022
SIGNED ON BEHALF OF BM+G:	Brian Maguire Accreditation No. BDC0241



SCHEDULE 1

SCHEDULE OF DOCUMENTATION

APPROVED PLANS

+ Architectural Plans prepared by Troppo Architects:

DRAWING NUMBER	REV	DATE	DRAWING NUMBER	REV	DATE
000	D	19.12.2022	300	C	14.12.2022
100	D	19.12.2022	302	C	14.12.2022
003	C	14.12.2022			

DOCUMENTATION RELIED UPON

In conjunction with the approved plans and specifications the following documentation was relied upon in issuing the Construction Certificate:

+ Documentation:

ITEM	DOCUMENTATION	PREPARED BY	DATE
1.	Construction Certificate Application form	Troppo Architects	17.11.2022
2.	Long Service Receipt L0000089521	Long Service Corporation	14.10.2022
3.	Builders' insurances and general information	Stanaway PL	26.05.2023
4.	Site Survey	Graham F Howe	31.03.2020
5.	Architectural Statement	Troppo Architects	07.12.2022
6.	Wilcannia Well Being Centre Specification	Troppo Architects	17.11.2022
7.	Architectural statement regarding timber structure	Troppo Architects	17.11.2022
8.	Civil Stormwater statement of Compliance	Barnson	26.10.2022
9.	Email - Building Plan Approval	Central Darling Shire Council	08.12.2022
10.	Part J Energy Eff Checklist	BCA Engineers	Not Specified
11.	Landscape Design statement	Outer Space	13.12.2022
12.	Wilcannia Well Being Centre - Weatherproofing Performance Solution Report	Not Specified	26.10.2022
13.	Enviroseal Product Technical Statement	Bradford CSR	Not Specified
14.	Exotec Certificate of Conformity	CodeMark	17.05.2021
15.	Fielders Rainwater Goods NCC Compliance	Fielders	Dec 2021
16.	Fielders Roofing and Walling NCC Compliance	Fielders	Dec 2021
17.	Performance Solution Report	Troppo Architects	09.12.2022
18.	Notice of construction work to commence to neighbours	David Payne Constructions	26.10.2022
19.	Voluntary Planning Agreement	Central Darling Shire Council / Maari Ma Health Aboriginal Corporation	Not Specified
20.	DPE Water Approval	Department of Planning & Environment	02.11.2022
21.	Architectural Statement	Troppo Architects	17.11.2022
22.	Civil Engineers statement	Barnson	26.10.2022
23.	Public Utilities Plan - Electrical Notification of arrangement	DBYD / Delta Star Designs PL	22.10.2022
24.	Email - DA 3.4 - Notice of Arrangement notification	MB Electrical	07.12.2022



ITEM	DOCUMENTATION	PREPARED BY	DATE
25.	Email - DA 3.4 Notification of Arrangement Approval	Central Darling Shire Council	15.12.2022
26.	Email - DA 3.12 - NRAR Controlled Activity Approval sent to CDS	Tropo Architects	01.12.2022
27.	Aboriginal Due Diligence Assessment confirmation	Tropo Architects	15.12.2022
28.	Civil Plans Details numbered C00-C07, C10, C11, C20	Barnson	26.10.2022
29.	Flood Management Plan	Tonkin	22.11.2022
30.	BCA Services Engineers Statement	BCA Engineers	25.10.2022
31.	Structural Engineers Design Certificate	Barnson	06.12.2022
32.	Section 68 Approval from NSW Govt Portal	NSW Government Portal	Not Specified
33.	Section J Compliance Report	Living Building Solutions	15.12.2022
34.	Arborists Statement	Tropo Architects	07.12.2022
35.	Email - DA 3.29 Public Utilities Plan approval - CDS additional info	Central Darling Shire Council	15.12.2022
36.	Email - DA 3.29 Public Utilities Plan approval from CDS	Central Darling Shire Council	08.12.2022
37.	Civil Engineers response	Barnson	06.12.2022
38.	Geotechnical Report	Barnson	06.10.2020
39.	Pedestrian Management Plan	David Payne Constructions	Not Specified
40.	Traffic Management Plan/Statement	DTC Training	21.09.2022
41.	Civil Statement	Barnson	16.12.2022
42.	Arborist Report	Urban Tree Management	05.03.2021
43.	Bushfire Report and Statement	Barnson	06.04.2021
44.	Services design Statement	BCA Engineers	19.12.2022



SCHEDULE 2

FIRE SAFETY SCHEDULE

Issued under Section. 78 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021

ADDRESS:	Bonney Street, Wilcannia
OWNER:	Cathy Dwyer
DEVELOPMENT APPLICATION NO.:	D/20/2021-PAN 158296
CONSTRUCTION CERTIFICATE NO.:	CC-22253

The following essential fire safety measures shall be implemented in the whole of the building premises and each of the fire safety measures must satisfy the standard of performance listed in the schedule, which, for the purposes of Section 78 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, is deemed to be the current fire safety schedule for the building.

SCHEDULE

Statutory Fire Safety Measure	Design / Installation Standard	Proposed
Automatic Fire Detection System	AS1670.1-2018	✓
Emergency Lighting	BCA Clause E4.4 & AS 2293.1 – 2018	✓
Exit Signs	BCA Clauses E4.5, E4.6 & E4.8 AS 2293.1 – 2018	✓
Paths of Travel	EP&A (DC&FS) Reg. 2021 Section 109	✓
Portable Fire Extinguishers	BCA Clause E1.6 AS 2444 – 2001	✓
Warning & Operational Signs	EP&A (DC&FS) Reg. 2021 Section 108 BCA Clause D3.6, AS 1905.1 – 2015	✓



SCHEDULE 3

CONDITIONS OF CONSTRUCTION CERTIFICATE

There are no conditions pursuant to section/s 27, 22, 116 or 117 (formerly cl. 144, 146B, 187 & 188, respectively) of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 at the date of issue of this Construction Certificate.

Nil.



BLACKETT
MAGUIRE+
GOLDSMITH

22 December 2022

The General Manager
Central Darling Shire Council
PO Box 165
WILCANNIA NSW 2836

Dear Sir / Madam,

**REFERENCE: DA NO. D/20/2021-PAN-158296
BONNEY STREET, WILCANNIA
CONSTRUCTION CERTIFICATE**

As required by Section 13(2) of the EP&A (DC&FS) Regulation 2021 (the Regulation) notice is hereby given that the following application for Construction Certificate has now been approved.

Applicant: Troppo Architects
Subject Address: Bonney Street, Wilcannia
Project No. 210170
Date Received: 13 October 2022
Date Determined: 22 December 2022

Please find undercover a copy of the Construction Certificate No. CC-22253 for the proposed construction of a Community Health Facility for the Maari Ma Health Aboriginal Corporation to serve Wilcannia.

We have also enclosed a copy of the approved documentation and other documentation relied upon as indicated on the Construction Certificate for Council's record.

Pursuant to Schedule 4 Item 9 of the EP&A Regulation 2021, a sum of \$41.00 for the submission of this Part 6 Certificate has been processed on the NSW Planning Portal.

Please contact the undersigned should you have any further enquiries on 02 9211 7777.

Yours sincerely,

Brian Maguire
Director
Blackett Maguire + Goldsmith Pty Ltd

Address

Suite 2.01,
22-36 Mountain St
Ultimo NSW 2007

Postal
ABN

PO Box 167
Broadway NSW 2007
18 408 985 851

Contact

Ph: 02 9211 7777
Fax: 02 9211 7774
Email: admin@bmplusg.com.au



BLACKETT
MAGUIRE+
GOLDSMITH

22 December 2022

Tropo Architects
28 East Terrace
ADELAIDE SA 5000

Attention: Andrew O'Loughlin

Dear Andrew,

**REFERENCE: DA NO. D/20/2021-PAN-158296
BONNEY STREET, WILCANNIA
CONSTRUCTION CERTIFICATE**

Your recent application for a Construction Certificate dated 13.10.2022 has now been approved. We hereby enclose a copy of the Construction Certificate No. CC-22253 and associated documentation for the proposed construction of a Community Health Facility for the Maari Ma Health Aboriginal Corporation to serve Wilcannia.

We have forwarded a copy of the Construction Certificate together with the approved documentation to Council for its record.

Please also find attached an inspection schedule relevant to this development. The inspection schedule identifies the necessary Statutory Mandatory Critical Stage Inspections that must be undertaken together with other inspections of the progress building works, by our office.

It is the client's responsibility to ensure that our office is contacted with not less than 48 hours' notice for our attendance to each of these inspections.

The primary reason for these Statutory Mandatory Critical Stage Inspections is to ensure that the development proceeds in accordance with the development consent, Construction Certificates and that the development is fit for occupation in accordance with its classification under the Building Code of Australia. The Principal Certifying Authority does not undertake detailed quality control inspections. Critical Stage Inspections do not provide the level of supervision required to ensure that the minimum standards and tolerances specified by the 'Guide to Standards and Tolerances 2017 ©' are achieved.

The quality of any development is a function of the quality of the principal contractor's or owner builder's supervision of individual contractors and trades on a daily basis during the development. The PCA does not undertake this role.

The NSW Office of Fair Trading have published a 'Guide to Standards and Tolerances 2017 ©'. The guide can be obtained from the Office of Fair Trading website.

We thank you for your assistance in this matter and should you have any enquiries please do not hesitate to contact me on 9211 7777.

Yours sincerely,

Brian Maguire
Director
Blackett Maguire + Goldsmith Pty Ltd

Address

Suite 2.01,
22-36 Mountain St
Ultimo NSW 2007

Postal

ABN

PO Box 167
Broadway NSW 2007
18 408 985 851

Contact

Ph: 02 9211 7777
Fax: 02 9211 7774
Email: admin@bmplusg.com.au



INSPECTION SCHEDULE

STATUTORY MANDATORY CRITICAL STAGE INSPECTIONS

The following statutory mandatory critical stage inspections must be undertaken during the construction program.

- + After the commencement of the excavation for, and before the placement of, the first footing.
- + Prior to covering of any stormwater drainage connections.
- + After the building works has been completed and prior to any Occupation Certificate being issued in relation to the building.

COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA

All building works must be carried out strictly in accordance with the Building Code of Australia 2019 Amendment 1 (BCA). Any departure from the deemed-to-satisfy (DTS) requirements of the BCA must have the prior approval of Blackett Maguire + Goldsmith Pty Ltd

13/12/2022

Dear Josh,

DA D/20/201 - Willcannia Clinic - Landscape Design

In response to Construction Certificate Requirements dated 28/11/2022, we confirm the landscape design as cited in the table below have been designed in accordance with relevant Australian Standards, and in particular AS 1428.1:2009 Design for access and mobility; relevant Building Code of Australia requirements and requirements of the Conditions of Development Consent.

Landscape Drawings:

Title	No.	Revision	Date
Cover sheet, drawing register & location plan	L001	2	07.10.2022
Legend & general notes	L002	2	07.10.2022
Sheet Layout	L003	2	07.10.2022
Materials and Surfaces Plan - Sheet 1	L201	2	07.10.2022
Materials and Surfaces Plan - Sheet 2	L202	2	07.10.2022
Planting Plan	L203	1	07.10.2022
Landscape Details - Sheet 1	L801	2	07.10.2022
Landscape Details - Sheet 2	L802	2	07.10.2022
Landscape Details - Sheet 3	L803	1	07.10.2022

Yours sincerely,



Kathy Bawden
Director
Registered Landscape Architect (001007)
Outerspace Landscape Architects

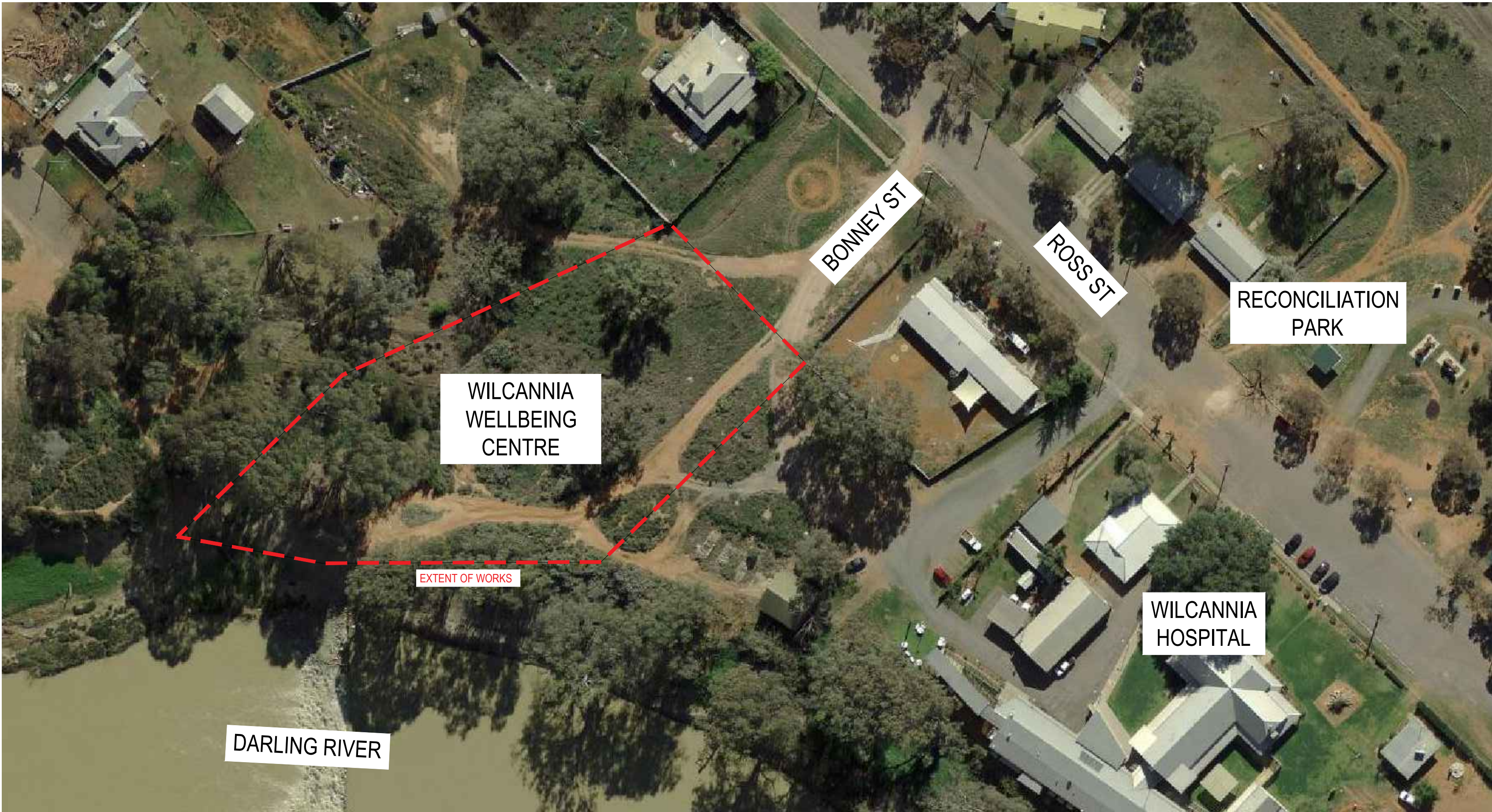
WILCANNIA WELLBEING CENTRE

LANDSCAPE DRAWING SET

PROJECT NUMBER: OS836

DRAWING REGISTER

DRAWING NO.	REV.	DRAWING TITLE
OS836_L_001	2	COVER SHEET, DRAWING REGISTER & LOCATION PLAN
OS836_L_002	2	LEGEND & GENERAL NOTES
PLANS		
OS836_L_003	2	SHEET LAYOUT
OS836_L_201	2	MATERIALS AND SURFACES PLAN - SHEET 1
OS836_L_202	2	MATERIALS AND SURFACES PLAN - SHEET 2
OS836_L_501	1	LANDSCAPE PLANTING PLAN
DETAILS		
OS836_L_801	2	LANDSCAPE DETAILS - SHEET 1
OS836_L_802	2	LANDSCAPE DETAILS - SHEET 2
OS836_L_803	1	LANDSCAPE DETAILS - SHEET 3



NATIONAL OFFICE:
35 RAILWAY ROAD, BLACKBURN VIC 3130
E: INFO@1100.COM.AU

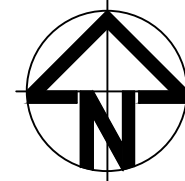
SA-NT:
6A, 128 FULLARTON ROAD, NORWOOD SA 5067
E: SA-NT@1100.COM.AU

TENDER ISSUE
NOT FOR CONSTRUCTION

2	100% Issue	AZ	RB	KB	07/10/2022
1	70% Design Development	NC	KB	KB	27/07/2022
-	30% Design Development	GH	SG	KB	22/04/2021
Issue	Description	Drwn	Ckd	Appd.	Date

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE. PREPARATION OF DETAIL/SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION/BUILDING COMPONENTS.



OUTER SPACE

258a Rundle Street
Adelaide SA 5000

407-408 Nicholas Building,
37 Swanston Street,
Melbourne 3000

P 08 8223 3228
E admin@outerspace.net.au

Project	WILCANNIA WELLBEING CENTRE				
Client	MAARI HEALTH ABORIGINAL CORPORATION				
Drawing Title	COVER SHEET, DRAWING REGISTER & LOCATION PLAN				
Status	PRELIMINARY				
File Ref.	OS836_Wilcannia Clinic_ACTIVE.dwg		Scale (A1)	1:xxx	
Drawn	NC	Designed	SR	Checked	KB
Date	07/22	Date	07/22	Date	07/22
Drawing No.	OS836_L_001			Issue	2

GENERAL NOTES

THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ALL OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.

IF ANY CLARIFICATIONS TO DOCUMENTS OR DESIGNS ARE REQUIRED DURING CONSTRUCTION, REFER TO THE SUPERINTENDENT.

WORK SHALL BE CARRIED OUT WITH ALL DUE CARE AND SENSITIVITY TO PREVENT NUISANCE AND RISKS TO THE ENVIRONMENT AND PUBLIC AT LARGE

THE CONTRACTOR SHALL PROVIDE ADEQUATE PUBLIC SAFETY WHERE REQUIRED. ALL WORK SHALL BE MANAGED TO ENSURE THE SAFETY TO ALL STAKEHOLDERS INCLUDING PEDESTRIANS, ROAD USERS AND SITE PERSONNEL IN ACCORDANCE WITH ALL RELEVANT SOUTH AUSTRALIAN LEGISLATION, ACTS POLICIES, GUIDELINES AND CODES OF PRACTICE.

CONTRACTOR TO ENSURE 'DIAL BEFORE YOU DIG' IS UNDERTAKEN. CONTRACTOR TO VERIFY LOCATION OF AND ISOLATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS. ALL EXISTING SERVICES TO BE RETAINED & PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE.

ALL REMAINING SITE FEATURES IMPACTED OR DAMAGED BY WORKS SHALL BE MADE GOOD AND OR REPLACED.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE S.A. ENVIRONMENT PROTECTION ACT 1993, AND ALL APPLICABLE POLICIES INCLUDING NOISE AND DUST ABATEMENT PROCEDURES.

CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE E.P.A. RECOMMENDATIONS FOR REMOVAL & MANAGEMENT OF CONTAMINATED MATERIAL IF ENCOUNTERED DURING WORKS.

THE WORK OUTLINED IN THIS PLAN IS NOT EXHAUSTIVE. IT SHALL BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK.

DEMOLITION

CONTRACTOR TO CHECK FOR SERVICES BEFORE COMMENCING ANY DEMOLITION WORKS

ALL DEMOLISHED MATERIAL IS TO BE SENT TO AN APPROPRIATE AND APPROVED DUMP OR RECYCLING DEPOT WHERE POSSIBLE.

TREE PROTECTION

REFER TO ARBORISTS REPORT FOR TREE PRUNING RECOMMENDATIONS AND TREE SENSITIVE CONSTRUCTION AND PROTECTION MEASURES.

PROJECT ARBORIST: URBAN TREE MANAGEMENT
PREPARED BY: DANNY DRAPER
DATE PREPARED: MARCH 2021

CONTRACTOR TO ENSURE ALL EXISTING TREES AND EXISTING SITE FEATURES ARE RETAINED & PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED FOR REMOVAL.

TREE PROTECTION ZONES (TPZ'S) AND STRUCTURAL ROOT ZONES (SRZ'S) HAVE BEEN SHOWN ON THE PLANS.

ALL WORK AROUND TREES THAT ARE REQUIRED TO REMAIN SHALL BE UNDERTAKEN WITH CARE AND SENSITIVITY. PARTICULAR CARE SHALL BE TAKEN TO AVOID DAMAGE TO ROOT SYSTEMS AND LIMBS.

ANY WORKS WITHIN TPZ.'S TO BE APPROVED BY PROJECT ARBORIST PRIOR TO ANY WORKS COMMENCING & REVIEWED BY PROJECT ARBORIST.

ALL STRUCTURAL ROOTS, (ROOTS WITH A DIAMETER GREATER THAN 30 MILLIMETRES), ENCOUNTERED WITHIN OR OUTSIDE OF THE RECOMMENDED TPZ, SHOULD BE RETAINED IF POSSIBLE.

ANY BRANCH PRUNING REQUIRED DURING CONSTRUCTION SHALL BE CARRIED OUT ACCORDING TO ARBORIST REPORT.

DURING CONSTRUCTION, ALL AREAS BENEATH THE CANOPIES OF TREES TO BE RETAINED MUST BE COVERED BY A 75MM LAYER OF COURSE ORGANIC MULCH TO HELP MINIMISE THE EFFECTS OF DISTURBANCE. IF TEMPORARY ACCESS IS REQUIRED THROUGH THE EXCLUSION ZONE, SHEETS OF HEAVY PLYWOOD SHOULD BE LAID OVER THE MULCH BUT THIS SHOULD NOT BE CONSIDERED FOR LONG TERM USE.

NO FIXTURES SHALL BE ATTACHED TO ANY TREE FOR ANY REASON.

SETOUT

CONTRACTOR TO CHECK ALL DIMENSIONS AS SHOWN. ANY DISCREPANCIES OR LACK OF CLARITY SHALL BE INDICATED BY CONTRACTOR TO LANDSCAPE ARCHITECT FOR CLARIFICATION IN WRITING PRIOR TO WORKS COMMENCING / CONTINUING, PREPARATION OF DETAIL / SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION / BUILDING COMPONENTS.

SETOUT & LEVELS TO BE CONFIRMED ONSITE BY SUPERINTENDENT.

SETOUT DIMENSIONS ARE FROM SETOUT POINT AS INDICATED ON PLANS. IF BOUNDARY PEGS CANNOT BE LOCATED NOTIFY THE SUPERINTENDENT.

PLANTING

SUPPLY & INSTALL ALL PLANT SPECIES LISTED IN THE DRAWINGS FROM AN APPROVED NURSERY. PLANTS ARE TO BE HEALTHY, WELL GROWN SPECIMENS, FREE OF PEST & DISEASES.

PLANT STOCK FOR THE WORKS SHALL BE OF THE SIZE & TYPE SPECIFIED IN THE PLANT SCHEDULE ON THE LANDSCAPE PLAN. NO SUBSTITUTION OF SPECIES SHALL OCCUR WITHOUT THE LANDSCAPE ARCHITECT'S APPROVAL.

IN GENERAL, SHRUB & GROUNDCOVER STOCK SHALL HAVE THE FOLLOWING MINIMUM SIZES:

- **200MM CONTAINER:** MIN HEIGHT 450MM
- **140MM CONTAINER:** SHRUBS TO HAVE MIN HEIGHT 300MM
- **TUBESTOCK:** FORM AND HEIGHT SHALL BE 'TRUE TO TYPE' OF THE SPECIES

INCORPORATE WATER CRYSTALS THROUGHOUT GARDEN BED TOPSOIL AND ALSO USE 200MM TOPSOIL/WATER CRYSTAL MIX IN BASE OF PLANTING HOLE

PLACE PLANT IN CENTRE OF HOLE, BACKFILL WITH APPROVED TOPSOIL/WATER CRYSTAL MIX, FIRING PROGRESSIVELY.

PLANTING SHALL BE SET OUT IN OFFSET / ALTERNATIVE ROWS

PLANTS SHALL BE THOROUGHLY SOAKED BEFORE PLANTING AND WATERED UNTIL PRACTICAL COMPLETION, PLANTING RATES SHALL INCLUDE THE COST OF WATER UNTIL PRACTICAL COMPLETION.

PLANTS ARE TO BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANTING PLAN/S. OBTAIN THE ON-SITE APPROVAL OF THE LANDSCAPE ARCHITECT (SUPERINTENDENT) PRIOR TO PLANTING.

ENSURE ALL PLANTS ARE DELIVERED TO SITE IN SUCH A MANNER AS TO PREVENT DAMAGE IN TRANSIT.

STAGE PLANTING IN ANY LARGE AREAS TO ENSURE PLANTS ARE NOT ON-SITE IN CONTAINERS FOR LONGER THAN 24 HOURS.

ALL SOILS FOR LANDSCAPING & GARDEN USE SHALL CONFORM TO AS4419

ALL COMPOSTS, SOIL CONDITIONERS & MULCHES SHALL CONFORM TO AS4454

SPACINGS ARE PROVIDED FOR INDIVIDUAL PLANTS IN SCHEDULE.

ALL PLANTING WORKS SHALL BE COMPLETED WITHIN THE CONTRACTED CONSTRUCTION TIME FRAME, EXCEPT DURING PERIODS OF EXTREME COLD, HOT OR WINDY WEATHER CONDITIONS. PLANTINGS SHALL RESUME AS SOON AS POSSIBLE AFTER SUCH EVENTS HAVE CEASED.

IRRIGATION

CONTRACTOR TO COORDINATE DESIGN, SUPPLY AND INSTALLATION OF A COMPLETE AND EFFICIENT AUTOMATIC LANDSCAPE DRIP IRRIGATION SYSTEM TO ALL GARDENS. THE IRRIGATION SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE IRRIGATION DESIGN PLAN. THE IRRIGATION DESIGN PLAN SHALL BE ISSUED TO THE SUPERINTENDENT FOR APPROVAL WITHIN 7 DAYS OF THE CONTRACT BEING AWARDED AND BEFORE ANY EQUIPMENT IS ORDERED OR ANY SITE INSTALLATION WORKS ARE COMMENCED.

CLASS 12 UPVC 100MM DIAMETER CONDUIT PIPES WILL BE REQUIRED BENEATH PAVEMENTS IN ORDER FOR THE IRRIGATION SYSTEM TO SERVICE ALL PLANTERS/ VERTICAL GARDENS.

THE LOCATION OF THE IRRIGATION CONTROL BOX AS INDICATED ON PLANS OR TO BE CONFIRMED WITH THE LANDSCAPE ARCHITECT.

IRRIGATION SUB-CONTRACTOR TO ADVISE WHETHER A BACKFLOW PREVENTION DEVICE IS REQUIRED.

IF RECYCLED WATER IS BEING USED, ENSURE TO INSTALL ALL LILAC LIDS, PURPLE PIPE & OTHER IRRIGATION COMPONENTS TO SA WATER & COUNCIL GUIDELINES & SPECIFICATIONS.

STANDARDS

THE FOLLOWING STANDARDS HAVE BEEN REFERED TO IN THE DESIGN & DEVELOPMENT OF CONSTRUCTION DRAWINGS

ALL DESIGN AND DOCUMENTATION, MATERIALS SUPPLIED AND WORK CARRIED OUT SHALL BE IN ACCORDANCE WITH THE CURRENT RELEVANT AUSTRALIAN STANDARDS:

TREES:

- **AS4373** PRUNING OF AMENITY TREES
- **AS4970:2009** PROTECTION OF TREES ON DEVELOPMENT SITES

PLANTING:

- **AS4419:2003** SOILS FOR LANDSCAPING & GARDEN USE
- **AS4454:2012** COMPOSTS, SOIL CONDITIONERS & MULCHES

FASTENERS

- **AS1684** TIMBER FRAMING
- **AS1163** COLD FORMED STRUCTURAL STEEL HOLLOW SECTIONS
- **AS/NZS1554.1** STEEL WELDING
- **AS/NZS2904** DAMPROOF COURSES & FLASHINGS

MASTER LEGEND

THIS MASTER LEGEND REFERS TO THE LANDSCAPE SELECTIONS SCHEDULES

PRELIMINARIES

- EXTENT OF WORKS LINE
- IRRIGATION CONDUIT

ARCHITECTURE

- ARCH: REFER TO ARCHITECTURAL DOCUMENTS
- ARCH: BUILDING ABOVE OUTLINE
- ARCH: STAIRS

ENGINEERING

- CIV: REFER TO CIVIL ENGINEERS DOCUMENTS
- HYD: REFER TO HYDRAULIC ENGINEERS DOCUMENTS
- CIV: RETAINING WALL
- HYD: RAIN WATER TANKS

PAVING AND SURFACES

- [P01A] CONCRETE TYPE A
REFER TO DETAIL & SELECTIONS SCHEDULE
- [P01B] CONCRETE TYPE B
REFER TO DETAIL & SELECTIONS SCHEDULE
- [P02] COMPACTED RUBBLE PATH
REFER TO DETAIL & SELECTIONS SCHEDULE
- [P03] GARDEN BED
REFER TO DETAIL & SELECTIONS SCHEDULE
- [P04] INFORMAL PATHS
REFER TO SELECTIONS SCHEDULE
- [P05] DRY CREEK GARDEN BED WITH PLANTING
REFER TO DETAIL & SELECTIONS SCHEDULE
- [P06] ROCK POOL GARDEN BED WITH PLANTING
REFER TO DETAIL & SELECTIONS SCHEDULE
- PROTECT AND RETAIN EXISTING PLANTING

FURNITURE AND FIXTURES

- [FF01] ROCKS SEATS
REFER TO DETAIL & SELECTIONS SCHEDULE
- [FF02] ROCK BENCH
REFER TO DETAIL & SELECTIONS SCHEDULE
- [FF03] TIMBER BRIDGE
REFER TO DETAILS
- [FF04] BOUNDARY FENCE
REFER TO SELECTIONS SCHEDULE
- [FF05] FENCE
REFER TO SELECTIONS SCHEDULE
- [FF06] GATE
REFER TO SELECTIONS SCHEDULE
- [FF07] BOLLARDS
REFER TO SELECTIONS SCHEDULE
- [FF08] DECK POTS (NOT SHOWN ON PLANS)
REFER TO SELECTIONS SCHEDULE
- [FF09] FUTURE SCULPTURAL POSTS

TREES

- EXISTING TREE TO BE RETAINED AND PROTECTED
- EXISTING TREE TO BE RETAINED AND PROTECTED
- PROPOSED SEMI-ADVANCED TREE
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)
- TPZ SETBACKS

DECORATIVE ROCK

- [R01] FEATURE ROCKS
REFER TO DETAIL & SELECTIONS SCHEDULE
- [R02] ROCK RETAINING WALL
REFER TO DETAIL & SELECTIONS SCHEDULE
- [R03] ROCK HEADWALL
REFER TO DETAIL & SELECTIONS SCHEDULE
- [R04] FIRE PIT
REFER TO SELECTIONS SCHEDULE

EDGES

- E01 [E01] STEEL EDGE.
REFER TO DETAIL & SELECTIONS SCHEDULE
- E02 [E02] SPADE EDGE.
REFER TO DETAIL & SELECTIONS SCHEDULE
- E03 [E03] ROCK EDGE.
REFER TO DETAIL & SELECTIONS SCHEDULE



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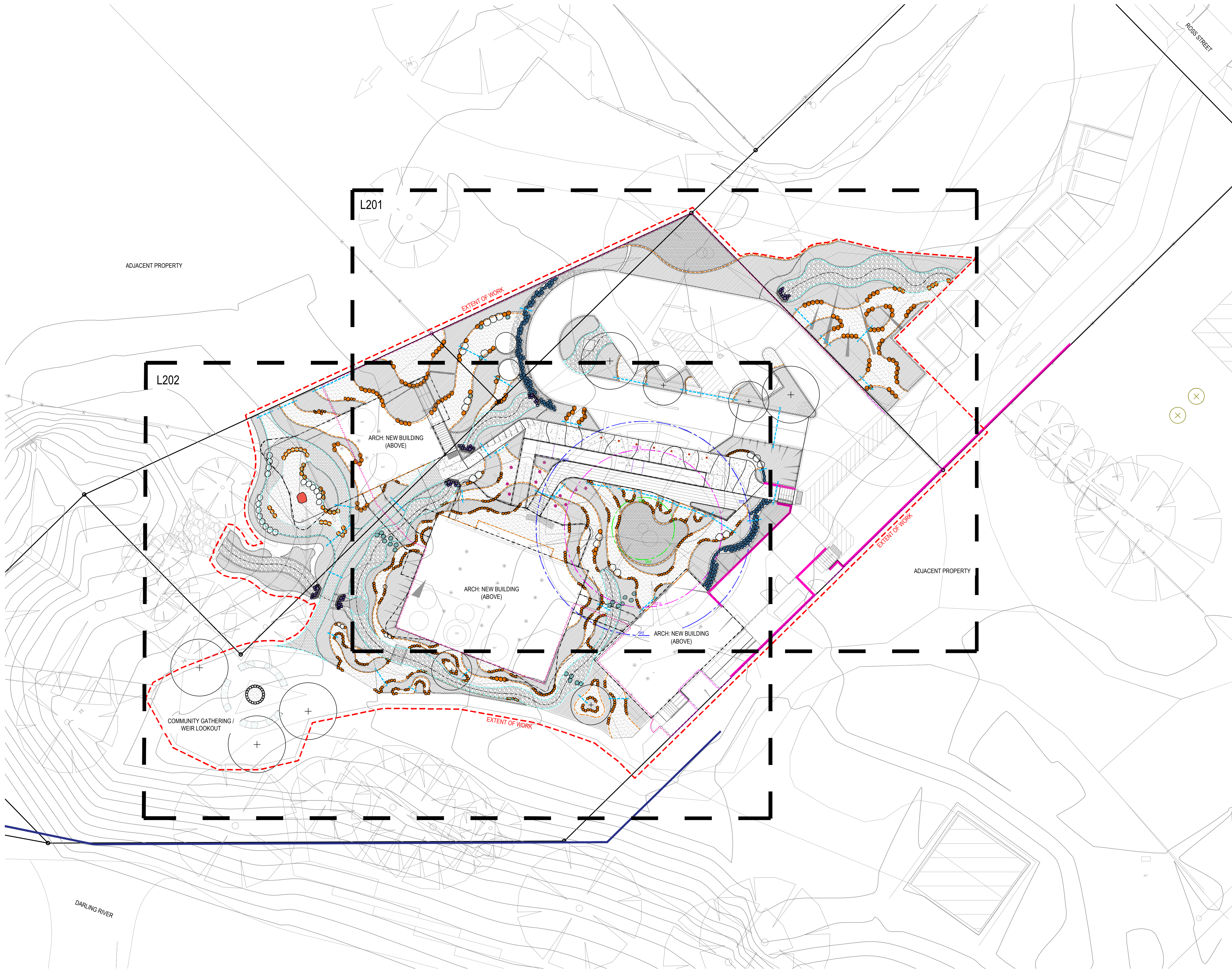
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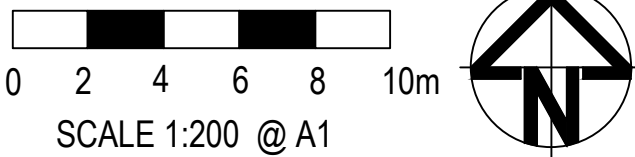
TENDER ISSUE
NOT FOR CONSTRUCTION

2	100% Issue	AZ	RB	KB	07/10/2022
1	70% Design Development	NC	KB	KB	27/07/2022
-	30% Design Development	GH	SG	KB	22/04/2021

Issue	Description	Drwn	Ckd	Appd	Date
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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE. PREPARATION OF DETAIL/SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION/BUILDING COMPONENTS.



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Project
WILCANNIA WELLBEING CENTRE

Client
MAARI HEALTH ABORIGINAL CORPORATION

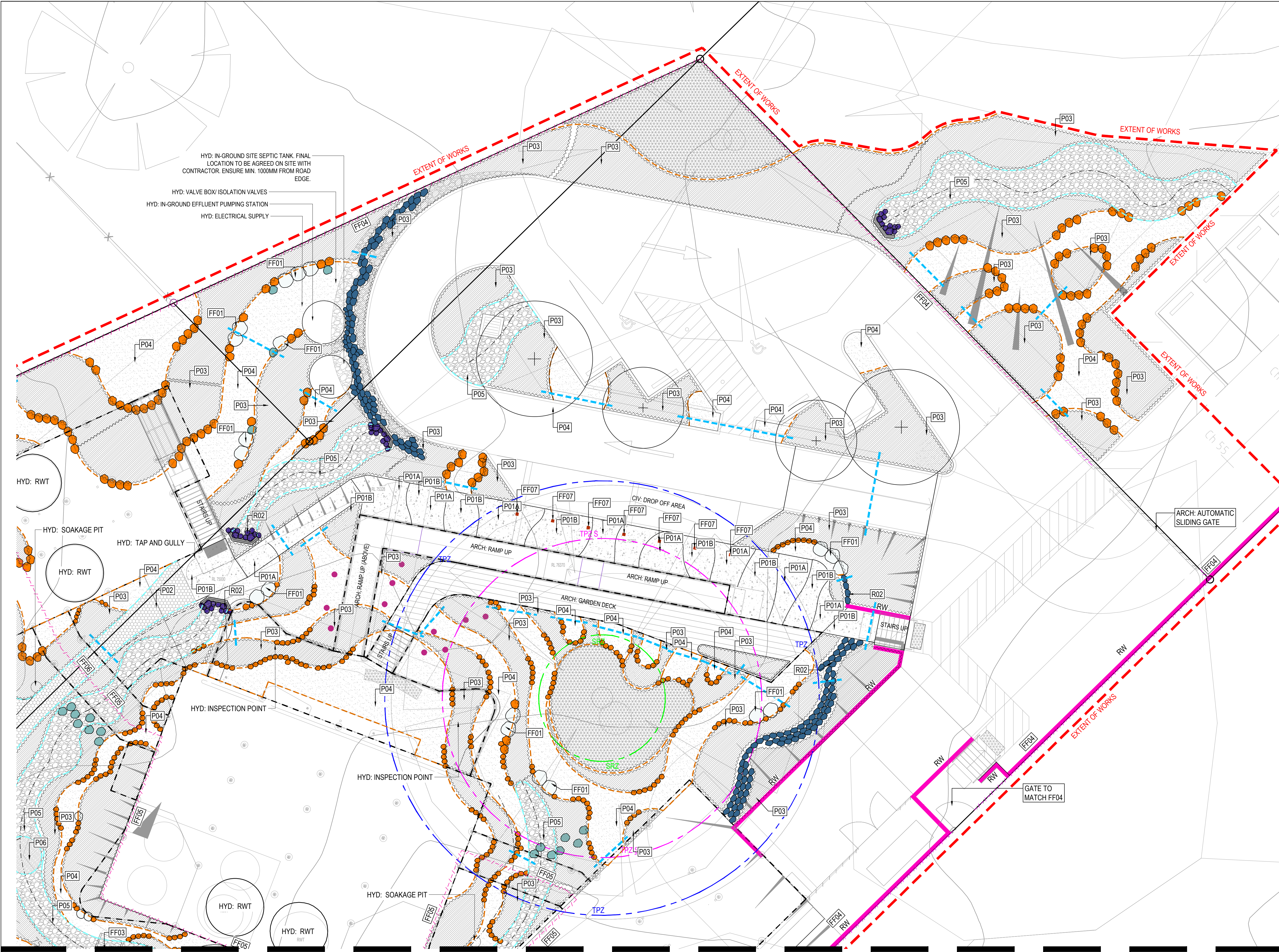
Drawing Title
SHEET LAYOUT


Status
PRELIMINARY

File Ref: OS836_Wilcannia Clinic_ACTIVE.dwg Scale (A1) 1:200

Drawn	NC	Designed	SR	Checked	KB
Date	07/22	Date	07/22	Date	07/22

Drawing No.	Issue
OS836_L_003	2





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TENDER ISSUE
NOT FOR CONSTRUCTION

2	Issue for Construction	AZ	RB	KB	07/10/2022
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SCALE 1:100 @ A1

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Project WILCANNIA WELLBEING CENTRE	
Client MAARI HEALTH ABORIGINAL CORPORATION	
Drawing Title MATERIAL AND SURFACE PLAN - SHEET 1	
Status PRELIMINARY	
File Ref: OS836_Wilcannia Clinic_ACTIVE.dwg	Scale (A1) 1:100
Drawn NC Date 07/22	Designed SR Date 07/22
Checked KB Date 07/22	
Drawing No. OS836_L_201	Issue 2

CONT. ON L202

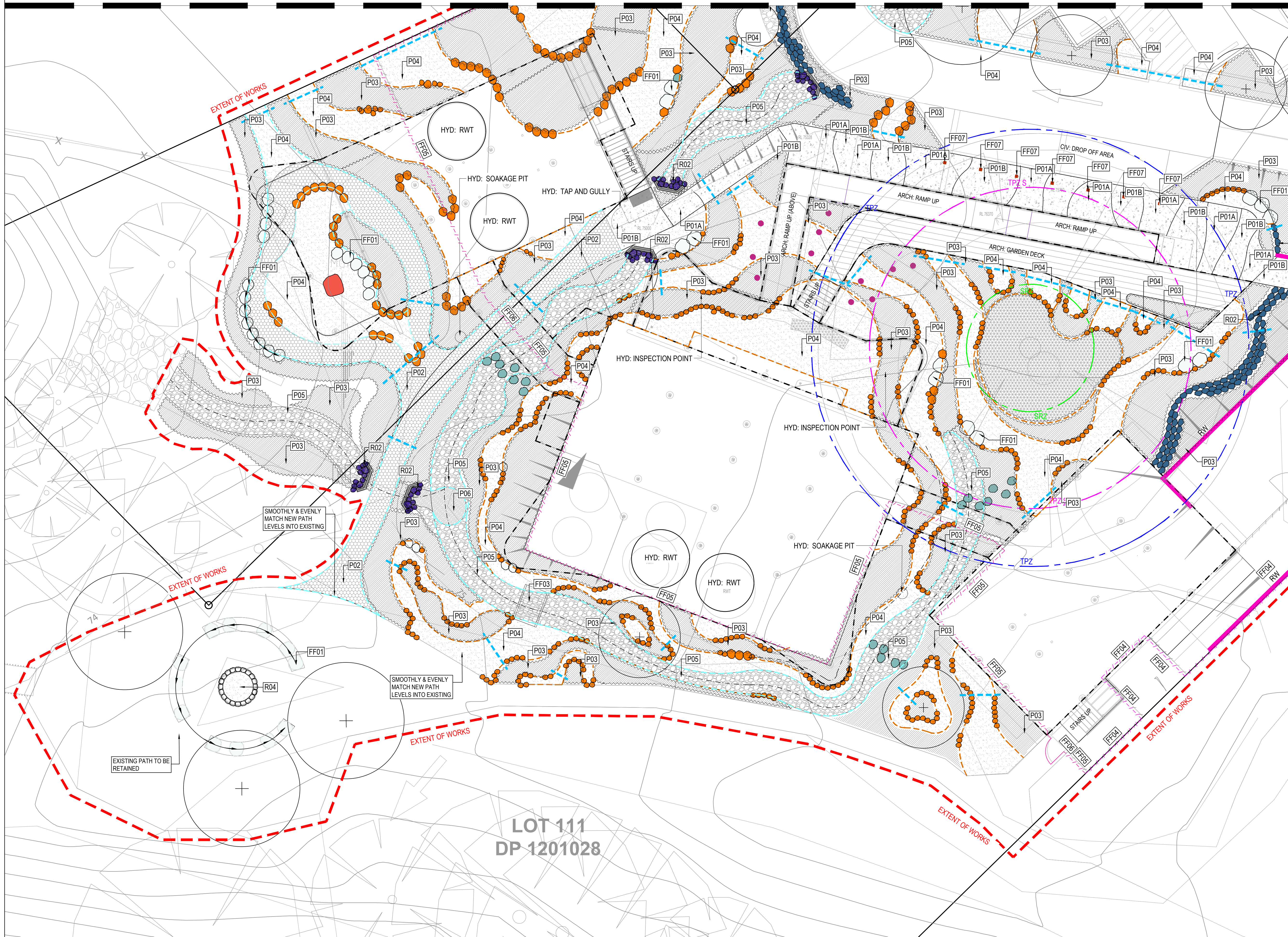
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2	100% Issue	AZ	RB	KB	07/10/2022
1	70% Design Development	NC	KB	KB	27/07/2022
-	30% Design Development	GH	SG	KB	22/04/2021

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Drawing No.	Issue
OS836_L_202	2



- PLANTING LEGEND
- [VEG A] GARDEN BED TYPE A
DRY CREEK BED PLANTING
 - [VEG B] GARDEN BED TYPE B
DRY CREEK EMBANKMENT PLANTING
 - [VEG C] GARDEN BED TYPE C
SHADE TOLERANT PLANTING
 - [VEG D] GARDEN BED TYPE D
PERIMETER PLANTING
 - [VEG E] GARDEN BED TYPE E
AMENITY PLANTING
 - [VEG F] GARDEN BED TYPE F
CULTURAL PLANTING

WORK IN PROGRESS.
TREE SPECIES AND PLANTING QUANTITY
AND SPECIES MIXES TO BE CONFIRMED.



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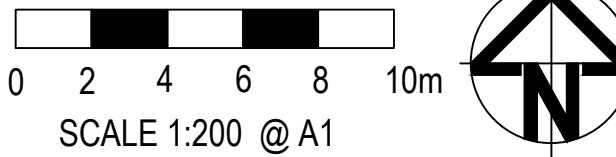
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TENDER ISSUE
NOT FOR CONSTRUCTION

1	100% Issue	AZ	RB	KB	07/10/2022
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Project
WILCANNIA WELLBEING CENTRE

Client
MAARI HEALTH ABORIGINAL CORPORATION

Drawing Title
LANDSCAPE PLANTING PLAN

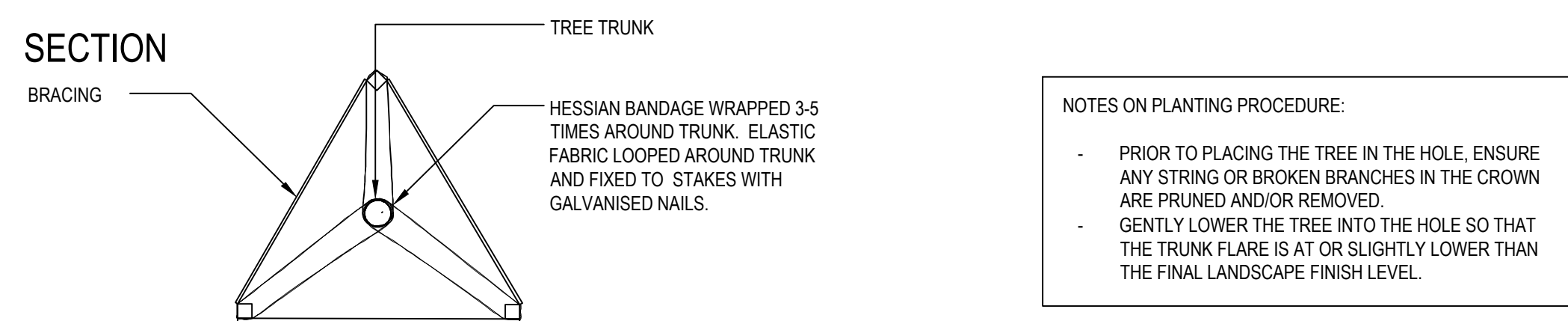
Status
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File Ref:
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Scale (A1) 1:200

Drawn	NC	Designed	SR	Checked	KB
Date	07/22	Date	07/22	Date	07/22

Drawing No.	Issue
OS836_L_501	1



FF01

E03

1:5

EXISTING SUB-GRADE

WIDTH VARIES

[P05] DRY CREEK BED 1:5 BATTER. REFER TO CIVIL AND SELECTIONS SCHEDULE

INSTALL GEO TEXTILE FABRIC BETWEEN SAND BED AND PEBBLES. TRENCH INTO SUBGRADE MIN. 300mm

50mm SAND BED

E01

100

50

ADJACENT SURFACE

The diagram illustrates a self-watering container system. A plant is shown growing in a container. The container has a base layer of compacted rubble, 100mm thick. Above the rubble is a layer of 4 XD MAX 50mm material. A watering dish is formed from excavated material. An irrigation line and dripper are connected to the watering dish. The root ball is placed in the center of the container, surrounded by backfill with topsoil, water crystals, and slow release fertilizer sachets at the base. The container has a diameter of 2.5xD and a height of 1.5xD. The root ball has a diameter of D. The hole edges are to be deglazed and corners rounded.

WATERING DISH TO BE FORMED FROM EXCAVATED MATERIAL

4 XD MAX 50mm

COMPACTED RUBBLE

100mm

IRRIGATION LINE AND DRIPPER

1.5xD

HOLE EDGES TO BE DEGLAZED AND CORNERS ROUNDED

D (Root-ball Dia.)

2.5xD

ROOT BALL

BACKFILL WITH TOPSOIL, SUITABLE FOR PLANTING. ADD WATER CRYSTALS AND SLOW RELEASE FERTILISER SACHETS AT BASE OF ROOTBALL, SUITABLE FOR SIZE AND TYPE OF PLANT SPECIES.

100mm DEPTH CONCRETE PAD.
REFER TO SELECTIONS SCHEDULE FOR
[P01 & P02] COLOURS AND FINISHES

COMPACTED SUB-BASE.

100

100

NOTES:

1. EXPANSION JOINTS: ALL PATHS TO HAVE EXPANSION JOINTS PLACED AT MAX 6m SPACINGS. LOCATION OF EXPANSION JOINTS AS PER SET OUT DRAWING.
2. CONTROL JOINTS: PAVING TO HAVE CONTROL JOINTS WITH APPROVED JOINT SEALER @2m CENTRES (MAX.). REFER TO PLANS FOR PATH DIMENSIONS.

Diagram illustrating the cross-section of a concrete pavement structure, showing the following components and dimensions:

- 75 (TYP)**: Dimension indicating the typical width of the sawcut.
- REFER SEALANT DETAIL**: Reference to the sealant detail for the joint.
- SAWCUT 3MM WIDE WITHIN 4-6 HRS OF PLACEMENT WITH "SOFCUT" REFER CONCRETE PAVEMENT NOTES**: Description of the sawcut operation.
- SL72 REINFORCING MESH LOCATED CENTRALLY IN PATH.**: Description of the reinforcing mesh.
- REINFORCED CONCRETE PAVEMENT AS SPECIFIED**: Description of the concrete slab.
- SUBBASE AS SPECIFIED**: Description of the subbase layer.
- DANLEY PLATE DOWEL 10MM @ 450 CTS. HOT DIPPED GALVANISED PLACE CENTRALLY**: Description of the dowel reinforcement.
- CUT SHIPMENT BARS AFTER PLACEMENT**: Instruction regarding the shipment bars.

Diagram illustrating the cross-section of a road base structure:

- Top Layer:** CEMENT TREATED COMPACTED RUBBLE. REFER SELECTIONS SCHEDULE AND SPECIFICATION. Thickness: 100mm.
- Bottom Layer:** COMPACTED SUB-BASE 95% COMPACTION TO DEPTH OF 100mm. Thickness: 100mm.

Diagram illustrating the cross-section of a planting hole with the following components and specifications:

- PROVIDE MOUNDED TOPSOIL BERM FROM EXCAVATED MATERIAL TO HOLD WATER AS SPECIFIED.
- 50MM MULCH AS SPECIFIED.
- TOPSOIL WITH ADDITIVES AS SPECIFIED.
- FILL PLANTING HOLE WITH TOPSOIL/ WATER CRYSTAL MIX WITH SLOW RELEASE FERTILISER SACHETS AT BASE OF ROOTBALL, SUITABLE FOR SIZE AND TYPE OF PLANT SPECIES.
- CULTIVATED SUBGRADE AS SPECIFIED.
- BREAK UP SIDES AND BASE OF HOLE & ROUND CORNERS

REFER SEALANT DETAIL

75 (TYP)

SAWCUT 3MM WIDE WITHIN 4-6 HRS OF PLACEMENT WITH 'SOFFCUT' REFER CONCRETE PAVEMENT NOTES

SL72 REINFORCING MESH LOCATED CENTRALLY IN PATH.

REINFORCED CONCRETE PAVEMENT AS SPECIFIED

SUBBASE AS SPECIFIED

DANLEY DIAMOND DOWEL OR SIMILAR APPROVED 10MM @ 450 CTS. HOT DIPPED GALVANISED PLACE CENTRALLY.

DOW-CORNING 888' SILICONE SEALANT TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INSTALLED BY A SPECIALIST

60

60

160

Ø6 CLOSED CELL EXPANDED POLYETHYLENE FOAM BACKING ROD

INITIAL 3MM SAWCUT

100

CEMENT TREATED IN SITU
COMPACT EXISTING SITE WORN
SOIL.
REFER SELECTIONS SCHEDULE
AND SPECIFICATION



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THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE, PREPARATION OF DETAIL/SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION/BUILDING COMPONENTS.

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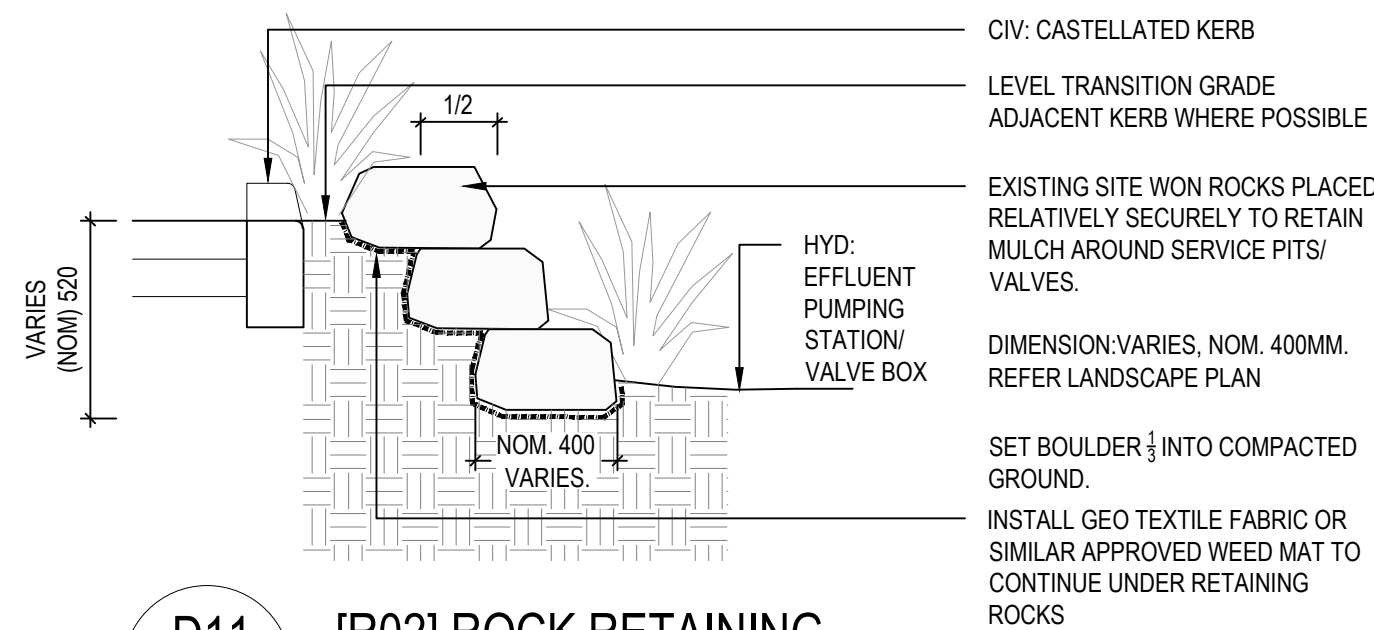
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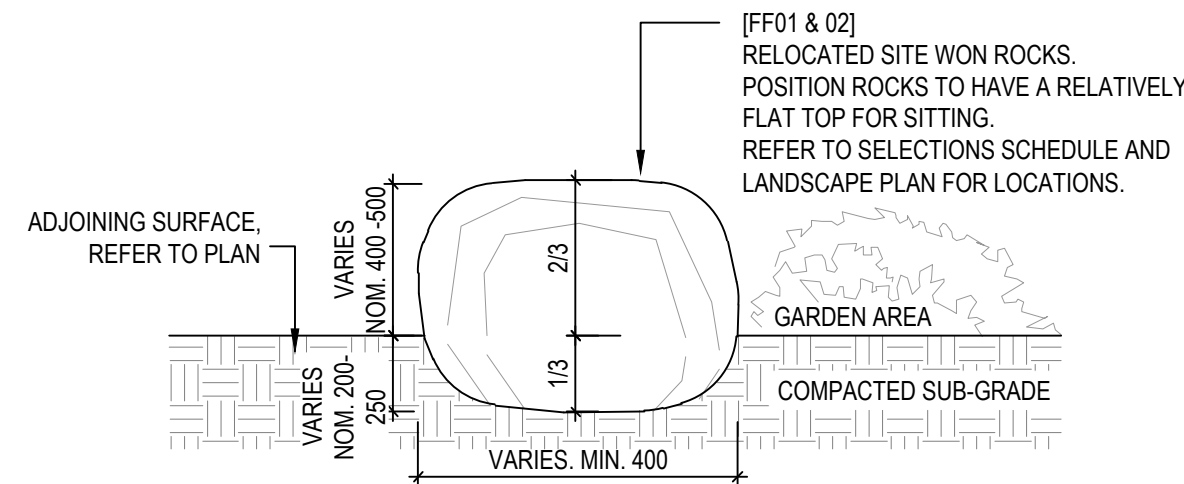
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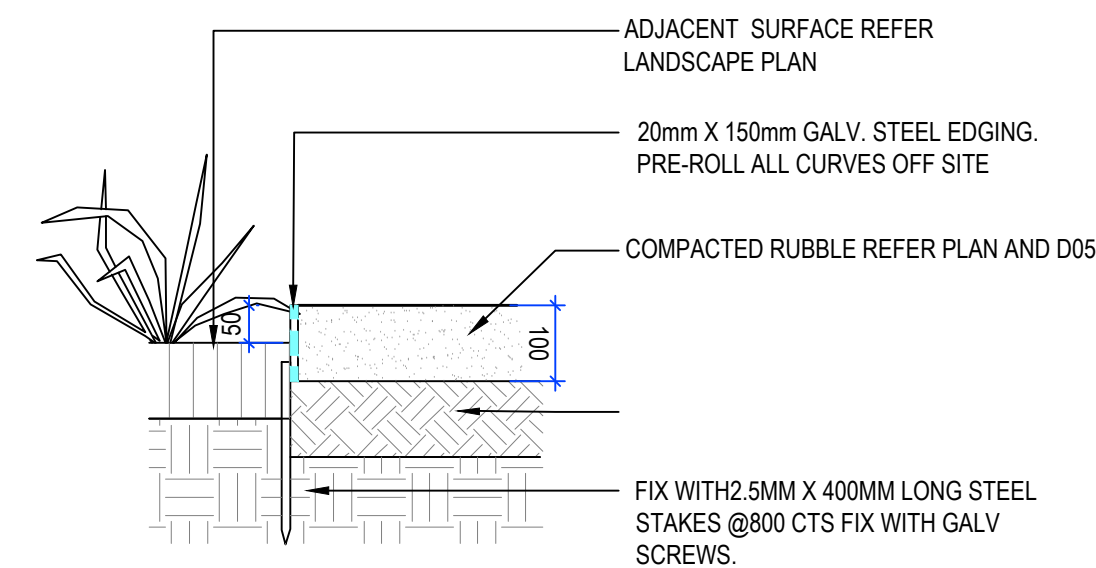
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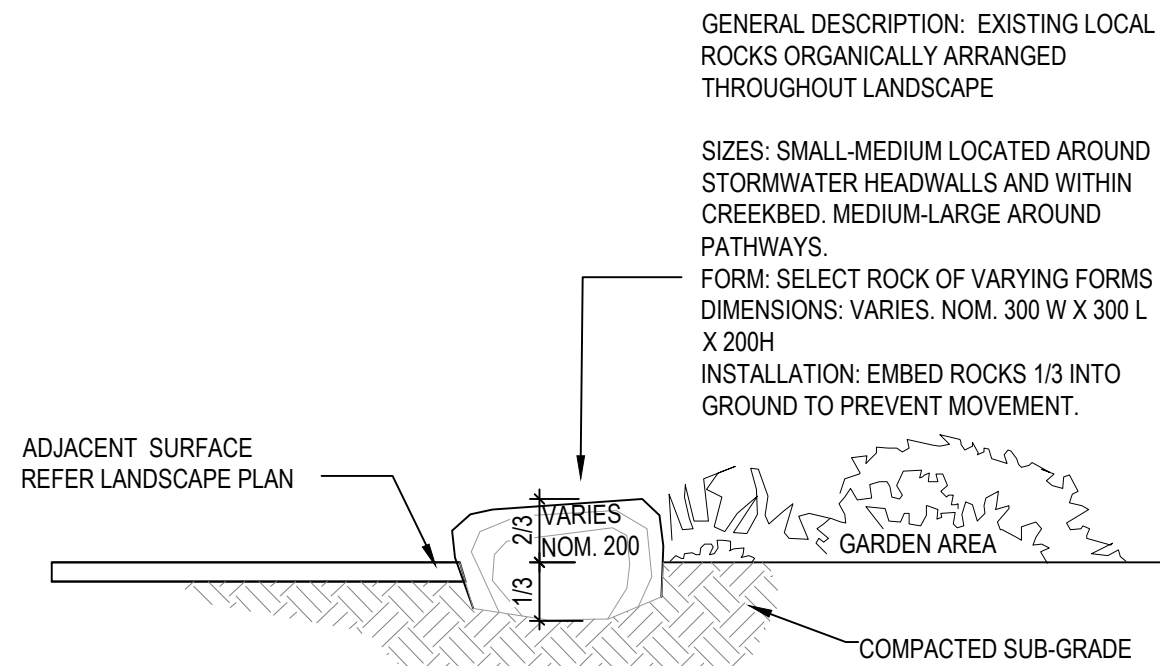
D11 [R02] ROCK RETAINING
SCALE 1:20



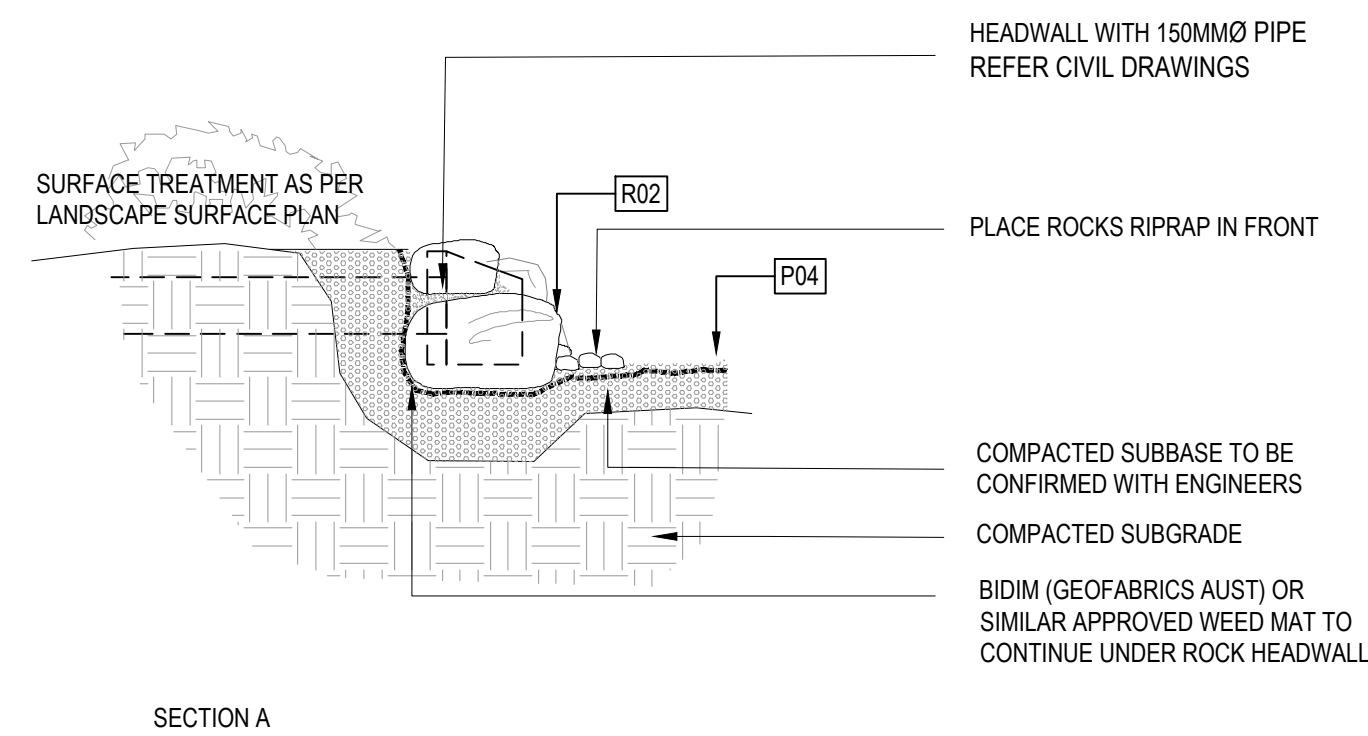
D14 [FF01 & 02] ROCK SEATS/ BENCH
SCALE 1:20



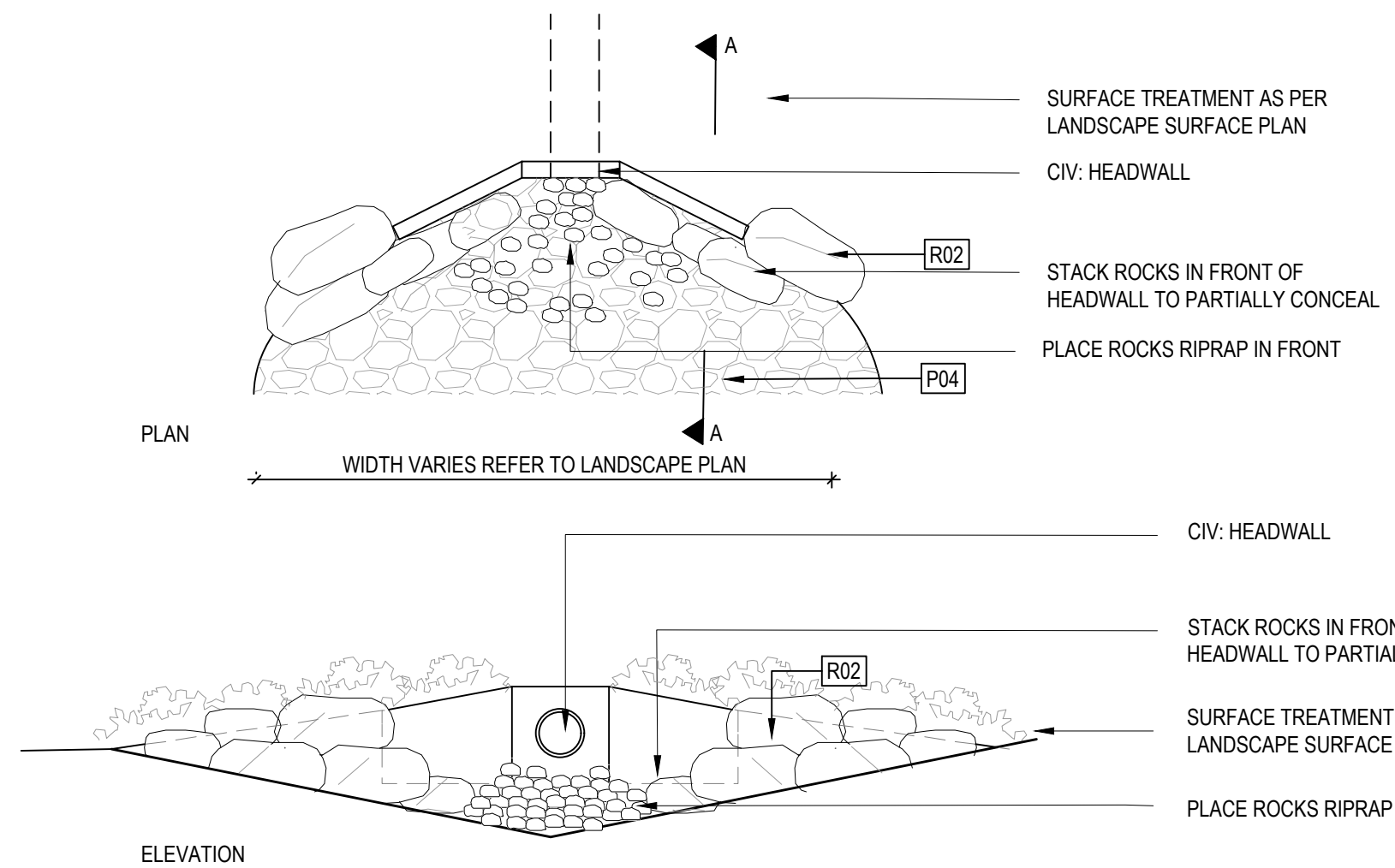
D16 [E01] STEEL EDGE
SCALE 1:10



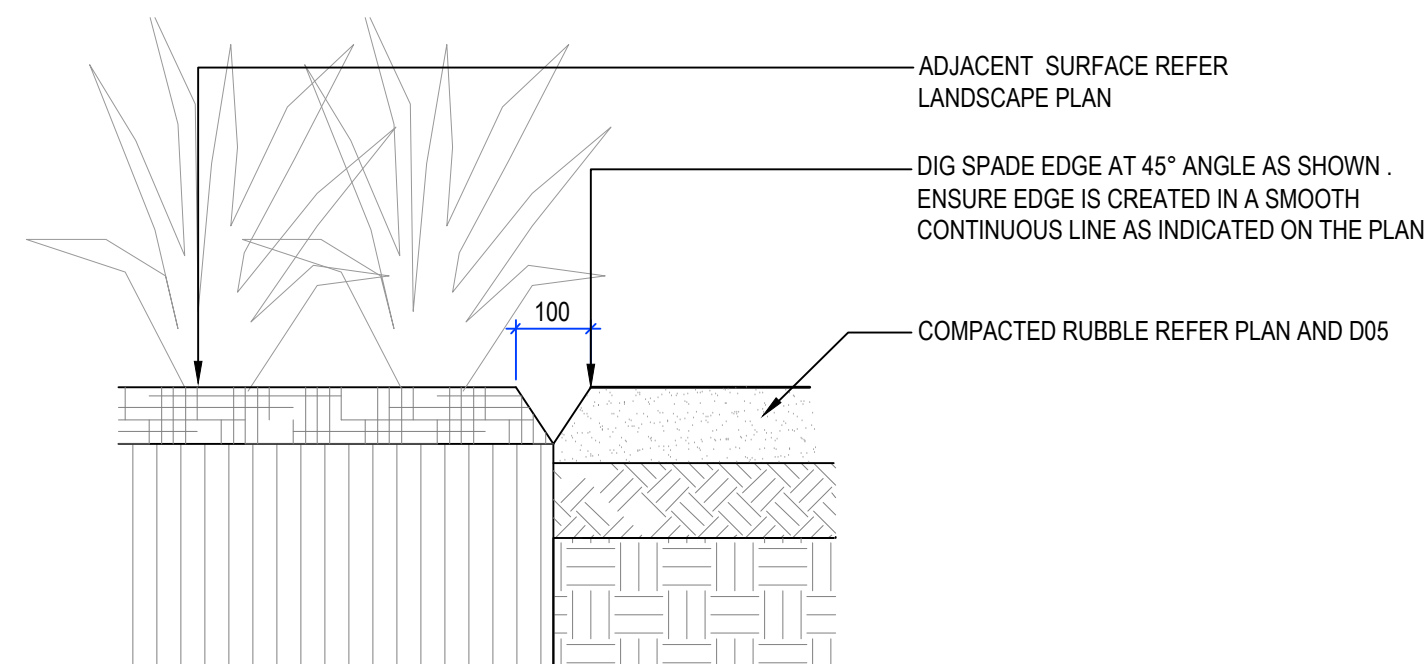
D12 [R001] LANDSCAPE ROCK DETAIL
SCALE 1:20



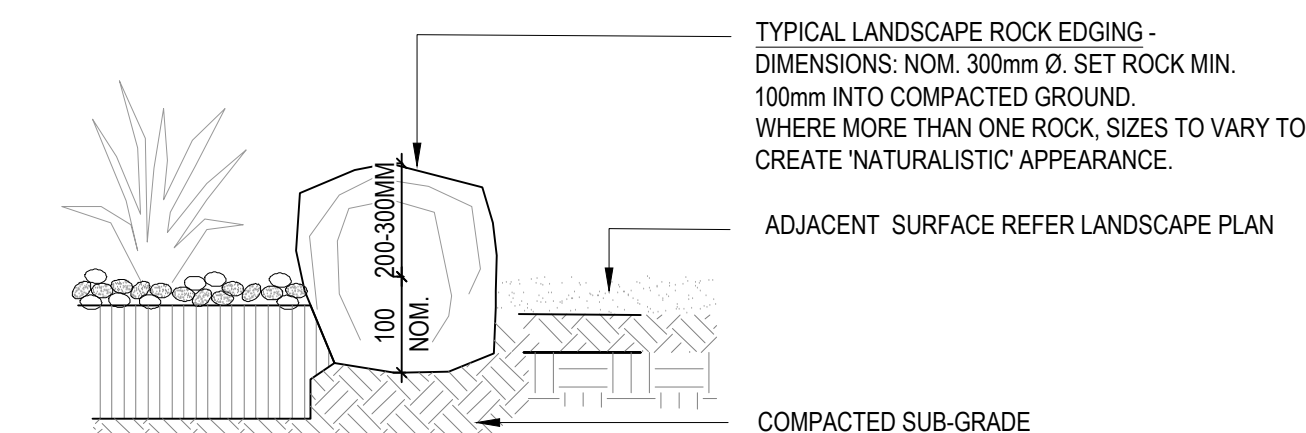
SECTION A



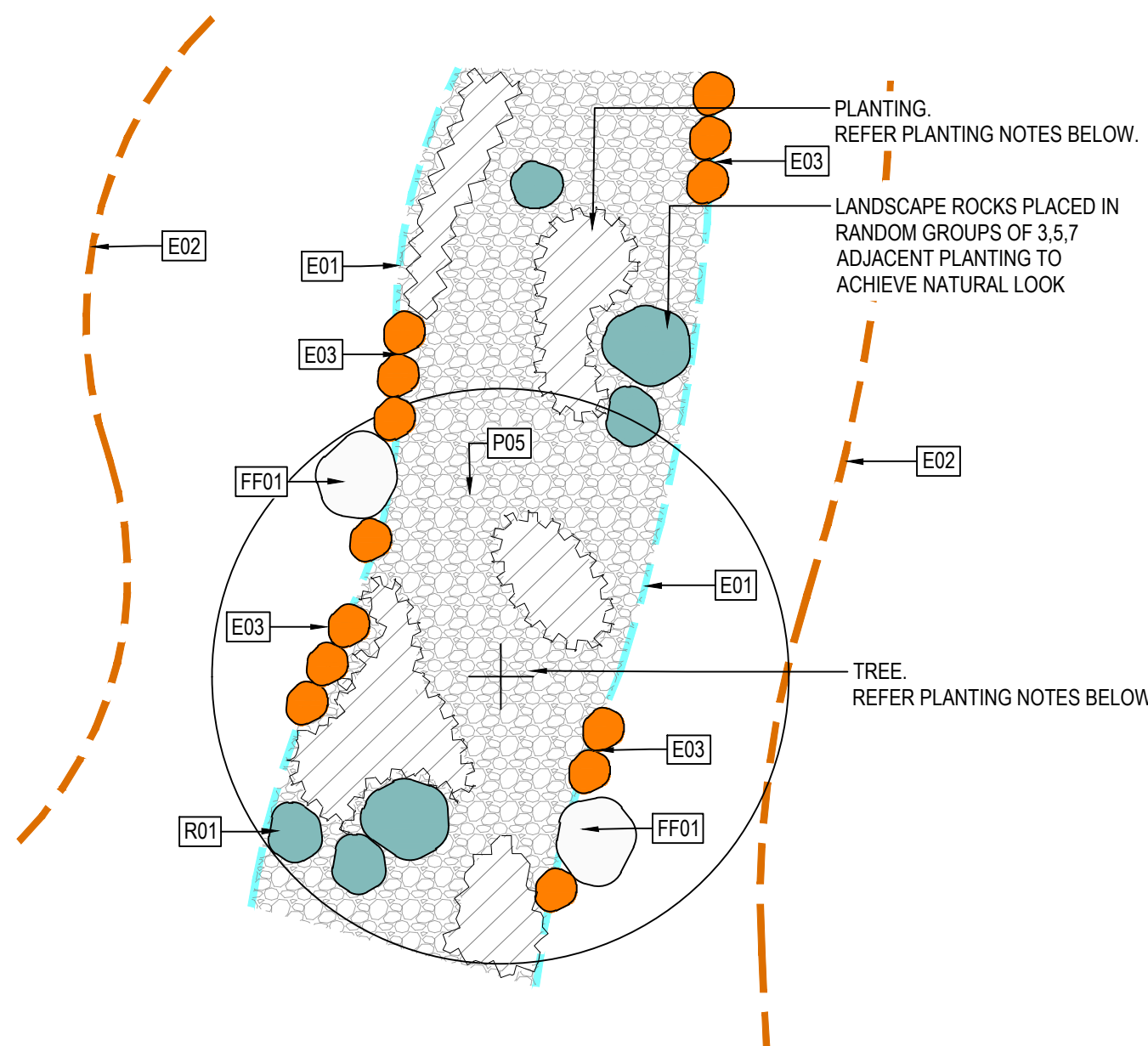
D15 [R03] ROCK HEADWALL
SCALE 1:20



D17 [E02] SPADE EDGE
SCALE 1:10



D18 [E03] ROCK EDGE
SCALE 1:20



D13 TYPICAL PLANTING SET-OUT
SCALE 1:50

PLANTING NOTES:

1. ALL PLANTING TO BE INSTALLED IN GARDEN BEDS IDENTIFIED ON PLANS AS [P03]; CONTRACTOR TO INSTALL TREES, SHRUBS, GRASSES AND GROUNDCOVERS INTO EACH GARDEN BED AREA AS FOLLOWS:
- 2.1. INSTALL PLANTS IN SMALL RANDOM GROUPS OF 7,9,11, ETC;
- 2.2. NO TWO GROUPS OF SIMILAR SPECIES PLANTED NEXT TO EACH OTHER
- 2.3. PLANT GROUPS TO BE RANDOMLY DISTRIBUTED WITHIN ONE GARDEN BED AREA TO ACHIEVE NATURAL LOOK;
- 2.4. TOTAL PLANT COVERAGE UP TO 60% PER GARDEN BED AREA WITH THE FOLLOWING BREAKDOWN:
 - 2.4.1 70% GROUND COVERS
 - 2.4.2 30% SHRUBS
- 2.5. INSTALL TREES 3-7 NOS PER GARDEN BED AREA;
- 2.6. INSTALL ROCKS [FF01] BETWEEN PLANT GROUPS FOR NATURAL EFFECT



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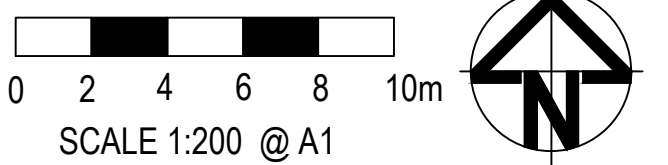
TENDER ISSUE
NOT FOR CONSTRUCTION

2	100% Issue	AZ	RB	KB	07/10/2022
1	70% Design Development	NC	KB	KB	27/07/2022
-	30% Design Development	GH	SG	KB	22/04/2021

Issue	Description	Drwn	Ckd	Appd	Date
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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.

THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE. PREPARATION OF DETAIL/SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION/BUILDING COMPONENTS.



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Project
WILCANNIA WELLBEING CENTRE

Client
MAARI HEALTH ABORIGINAL CORPORATION

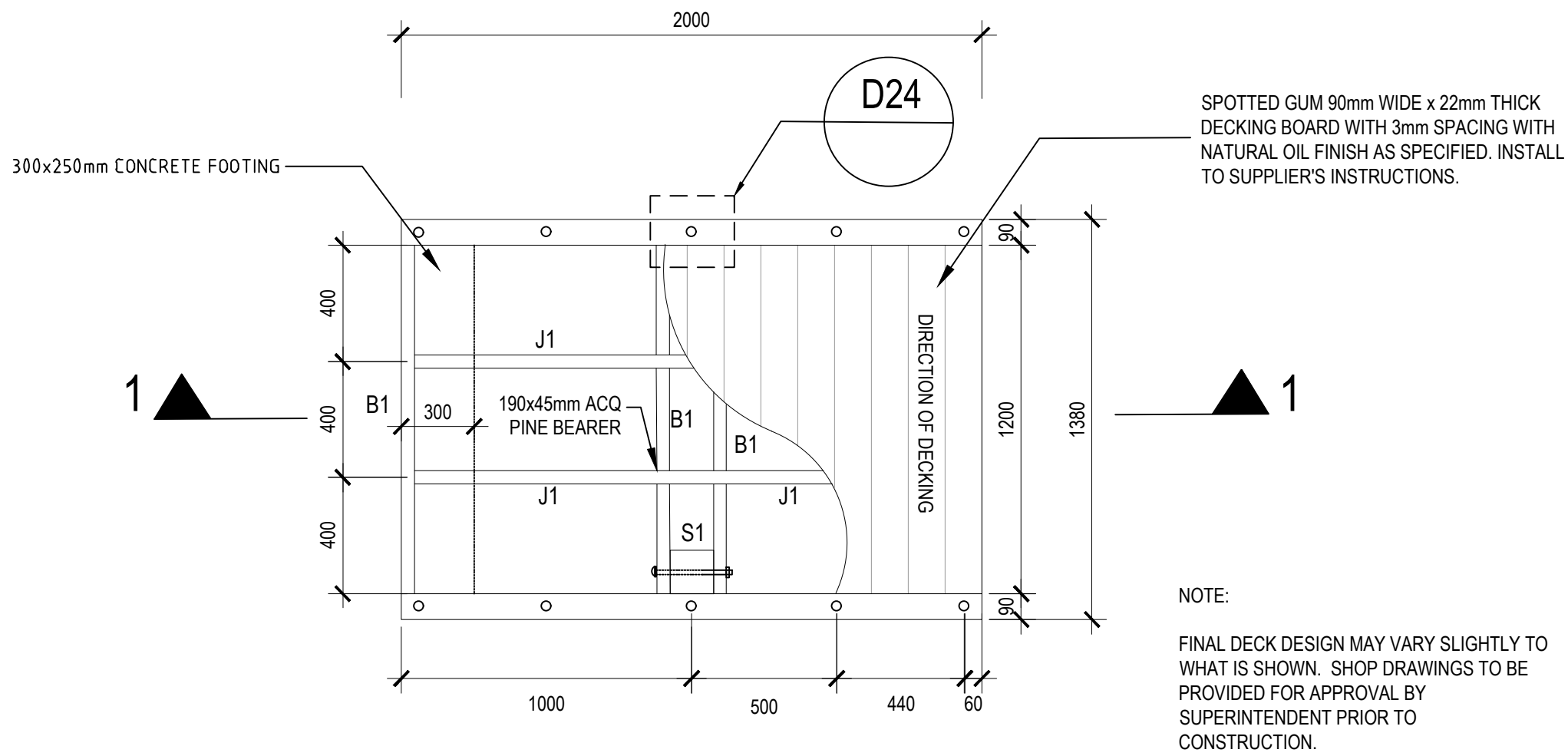
Drawing Title
LANDSCAPE DETAILS - SHEET 2

Status
PRELIMINARY

File Ref: OS836_Wilcannia Clinic_ACTIVE.dwg Scale (A1) 1:200

Drawn	NC	Designed	SR	Checked	KB
Date	07/22	Date	07/22	Date	07/22

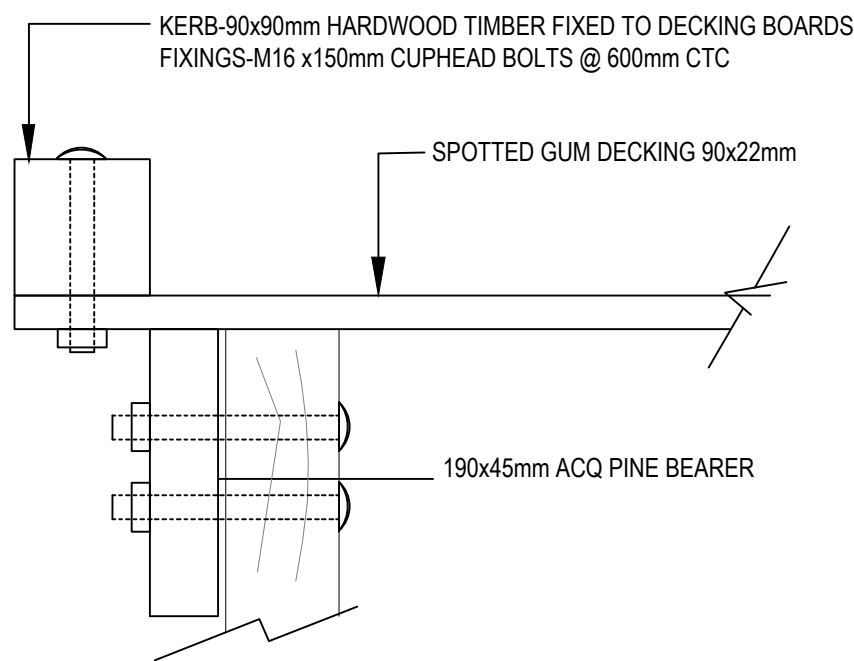
Drawing No.	Issue
OS836_L_801	2



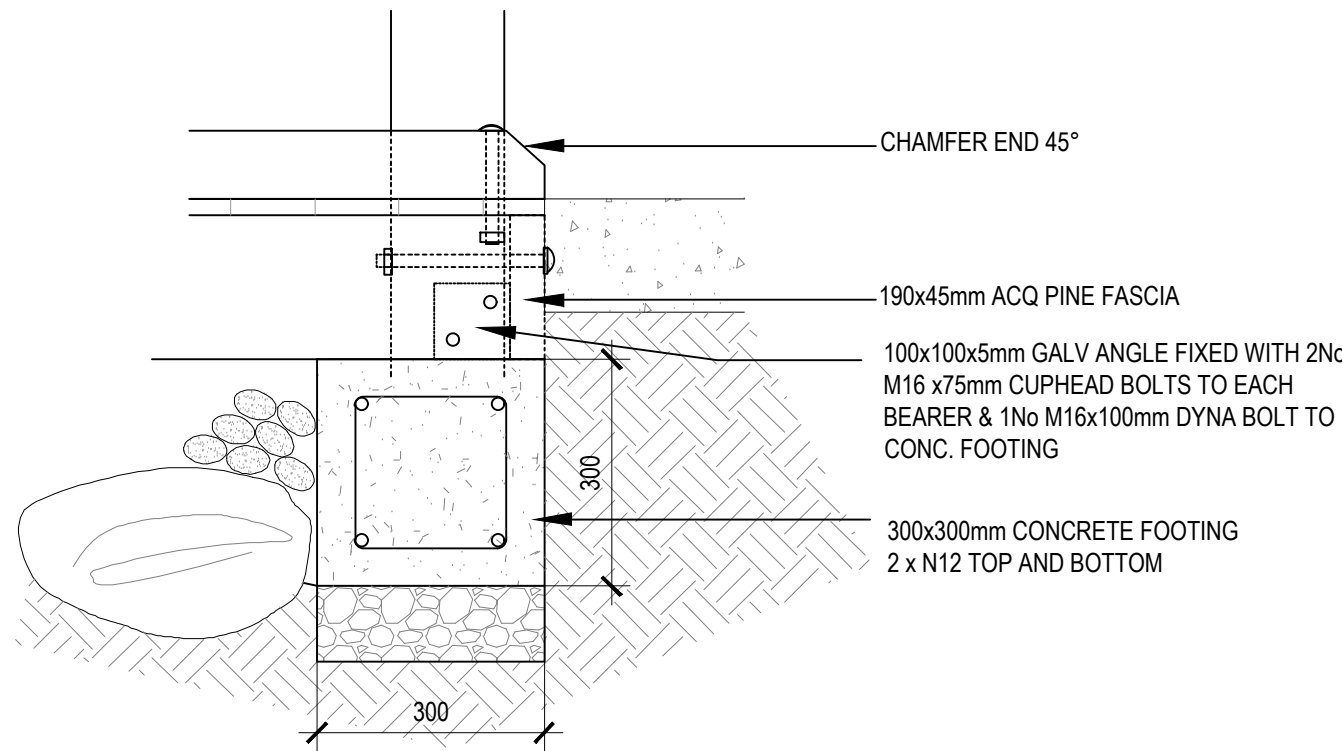
D19 CUSTOM TIMBER BRIDGE - PLAN
SCALE 1:20

STRUCTURAL MEMBERS FOR TIMBER DECK		
KEY	SIZE (mm)	ITEM
J1	140x45	H4 TIMBER KERB SPACING AS SHOWN
B1	190x45	H4 TIMBER BEAM SPACING AS SHOWN
S1	150x150	H4 TIMBER POST SEE LAYOUT FOR LOCATIONS

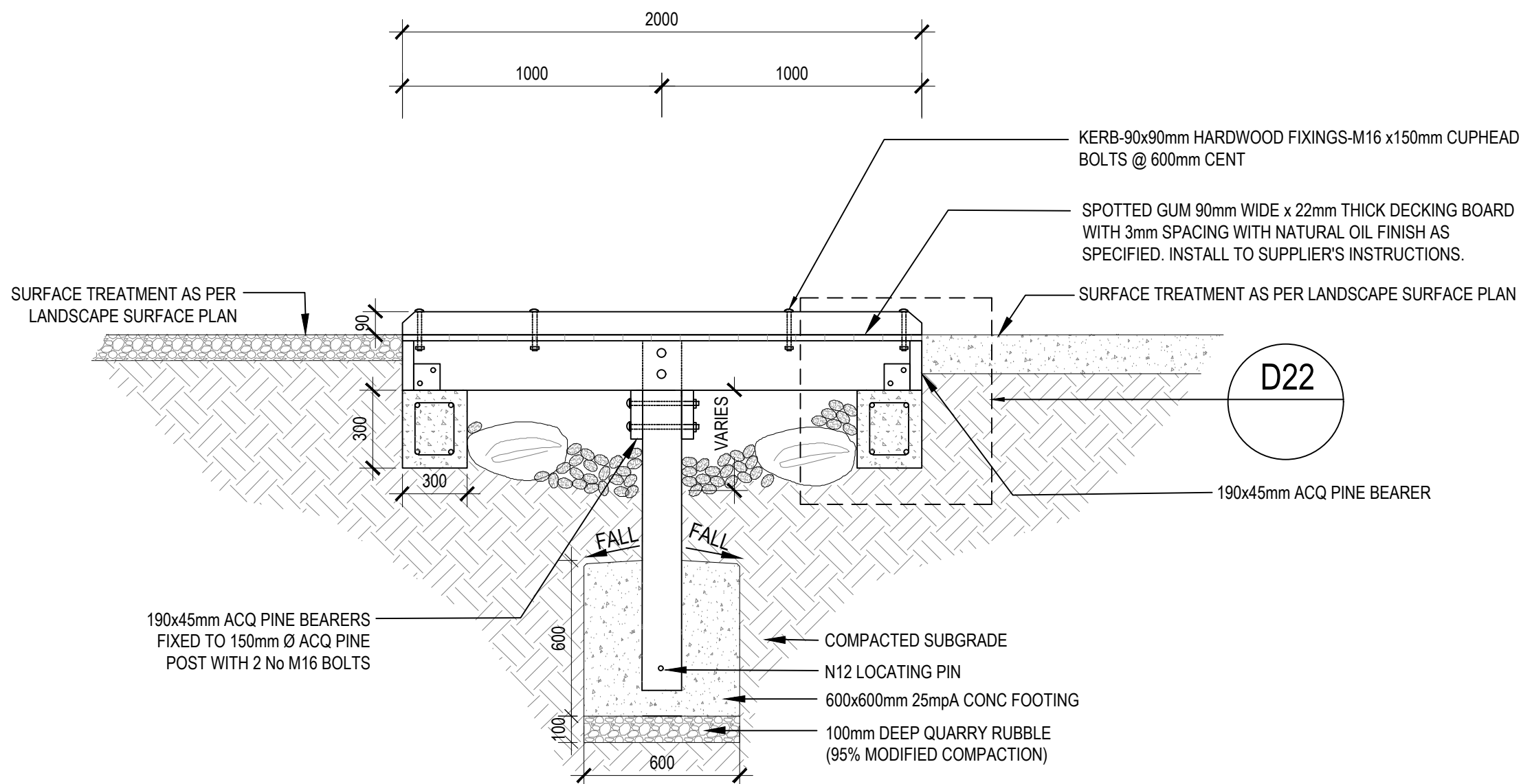
NOTE: MIN. GRADE OF TIMBERS TO BE F7



D21 BRIDGE FIXING DETAIL
SCALE 1:10



D22 BRIDGE FIXING DETAIL
SCALE 1:10



D20 CUSTOM TIMBER BRIDGE - CROSS SECTION 1-1
SCALE 1:20



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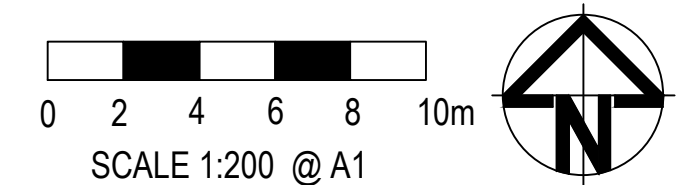
TENDER ISSUE
NOT FOR CONSTRUCTION

100% Issue	RB	RB	KB	07/10/2022
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Issue	Description	Drwn	Ckd	Appd	Date
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THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, LEVELS AND EXISTING SERVICE LOCATIONS, PRIOR TO COMMENCEMENT ON SITE. PREPARATION OF DETAIL/SHOP DRAWINGS, AND FABRICATION OF CONSTRUCTION/BUILDING COMPONENTS.



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WILCANNIA WELLBEING CENTRE

Client
MAARI HEALTH ABORIGINAL CORPORATION

Drawing Title
LANDSCAPE DETAILS - SHEET 3

Status
PRELIMINARY

File Ref.
OS836_Wilcannia Clinic_ACTIVE.dwg

Scale (A1) 1:200

Drawn	NC	Designed	SR	Checked	KB
Date	07/22	Date	07/22	Date	07/22

Drawing No.	Issue
OS836_L_801	2


Wilcannia Wellbeing Centre Landscape





Document: OS836_Wilcannia Wellbeing Centre_Selections Schedule
 Client: David Payne Constructions for Maari Ma Health Aboriginal Cooperation
 Client contact: Dan Battishall
 Client contact phone number: 02 6885 2211
 Client contact email: daniel@davidpayne.com.au

Pages: 3
 Revision: -
 Issued: 07.10.2022
 Prepared by: RB

**OUTER
SPACE**

CATEGORY	CODE	DESCRIPTION	SPECIFICATION	RECOMMENDED SUPPLIER	SAMPLE	IMAGE
1.00		HARDSCAPE				
1.01A	P01A	Concrete Type A	General description: Insitu concrete paving Colour: Murray Finish: Exposed aggregate Secondary finish: Seed concrete with rock salt trowelled then water wash finish Dimensions: Refer to details Engineering - Refer to engineers drawings	Mawsons Concrete & Quarries Location: 1 Holten Drive, Broken Hill, NSW, 2880 Contact: 08 8087 1010	Photo of 1 x 1 sqm sample for approval. Sample unit to include an expansion joint and crack control joint.	
1.01B	P01B	Concrete Type B	General description: Insitu concrete paving Colour: Snowy Finish: Exposed aggregate Secondary finish: Seed concrete with rock salt trowelled then water wash finish Dimensions: Refer to details Engineering - Refer to engineers drawings	Mawsons Concrete & Quarries Location: 1 Holten Drive, Broken Hill, NSW, 2880 Contact: 08 8087 1010	Photo of 1 x 1 sqm sample for approval. Sample unit to include an expansion joint and crack control joint.	
1.02	P02	Compacted rubble path	General description: Compacted gravel path Product: 'Dust' quarry rubble	Mawsons Concrete & Quarries Location: 1 Holten Drive, Broken Hill, NSW, 2880 Contact: 08 8087 1010	Provide 1x1 sqm samples of insitu compacted site won soil for comparison as described in the specification.	
1.04	P04	Informal paths	General description: Informal paths Product: To match existing Size: to match existing Depth: 100mm Colour: to match existing. Subgrade: Compacted subgrade to 95% modified compaction continued 200mm beyond edge		Provide 1x1 sqm samples of insitu compacted site won soil for comparison as described in the specification.	
1.05	P05 P06	Creek Bed with planting Rock Pool	General description: Loose rock in swale Mulch: Pirie Rock Size: Varies. Nom. 20-50mm	Mawsons Concrete & Quarries Location: 1 Holten Drive, Broken Hill, NSW, 2880 Contact: 08 8087 1010	Provide 1 labeled sample bag of approx. 1 cup (250mm) of material.	
2.00		Edges and Walls				
2.01	E01	Steel edge	General description: Steel edge Material: Galvanised steel Dimensions: 7m top width, 2m gauge thickness Install as per manufacturers recommendations	Formboss or similar approved	If providing alternative material, provide sample for approval	
2.02	E02	Spade edge	General description: Spade edge			
2.03	E03	Rock edge	General description: Existing site won rocks securely placed along swale edge Sizes: Small-Medium located around stormwater headwalls and within creekbed. Form: Select rock of varying forms Dimensions: Varies. Nom. 300 W x 300 L x 200H			 Example of character

3.00		Fixtures and Furniture				
3.02	FF01	Rock Seats	<p>General description: Existing site won rocks to be relocated to provide seating</p> <p>Sizes: Large</p> <p>Form: Select rocks with relatively flat tops.</p> <p>Dimensions: Selection rocks of nominal 400mm high from adjacent FSL. Min. heights 300mm, Max 500mm.</p> <p>Note: Remove any sharp edges.</p>		Confirm rock selection on site with Superintendent	
3.02	FF02	Rock Bench	<p>General description: Existing site won feature rock to be relocated to provide large bench</p> <p>Sizes: Large</p> <p>Form: Select largest rock available which has a relatively flat top.</p> <p>Dimensions: Nom. 1000 W x 1200 L.</p> <p>Install rock bench to be nom. 400mm high from adjacent FSL.</p> <p>Note: Remove any sharp edges.</p> <p>If required use multiple rocks and join to provide singular</p>		Confirm rock selection on site with Superintendent	
3.03	FF03	Timber Bridge	<p>General description: Timber bridge</p> <p>Refer landscape details</p>	Nominated by head subcontractor.	Product sheet and images	
3.04	FF04	Boundary Fence	<p>General description: Chain link security fence with top rail</p> <p>Materials: Heavy duty galvanised wire, 2.5mm thick</p> <p>Post and rail materials: Galvanised steel</p> <p>Finish: Knuckle-Knuckle knot to top and bottom edges.</p> <p>Ensure no sharp edges</p> <p>Dimensions: 1800 H</p> <p>Note: Bottom edge to finish nom. 100mm from FSL.</p>	Nominated by head subcontractor.	Product sheet and images	
3.05	FF05	Fence	<p>General description: Contractor to design and construct decorative security fence</p> <p>Post material: Treated hardwood timber posts</p> <p>Post size: 150mm x 150mm</p> <p>Post fixing: Concrete footing as designed by professional engineer</p> <p>Panel material: 'Monument' powder coated galvanised steel</p> <p>Panel form: Vertical blades fully welded along narrow edge profile</p> <p>Blade size: 50mm x 10mm</p> <p>Bar size: 40mm x 40mm</p> <p>Gap between blades: 50mm</p> <p>Panel sizes: Varies. Max. 2500mm</p> <p>Dimensions: Varies. Refer Architectural drawings. Typically 1800 H. If clearance under building is <1800 H extend fence to meet underside of building/ walkway.</p> <p>Note: Bottom edge to finish nom. 100mm from FSL.</p>	Nominated by head subcontractor.	Product sheet and images	
3.06	FF06	Gate	<p>General description: Contractor to design and construct decorative gate to match FF05</p>	Nominated by head subcontractor.	Product sheet and images	
3.07	FF07	Bollards	<p>Description: Bollards adjacent drop off zone</p> <p>Product: Shore Bollard or similar approved</p> <p>Material: Australian hardwood</p> <p>Finish: Jarrah</p> <p>Dimensions: 1200 H x 190</p>	Outdoor Structures Australia 07 5462 4255	Product sheet and images	
3.08	FF08	Deck Pots	<p>General description: Client to select unfixed garden bed pots</p> <p>Location: Architectural decks adjacent building</p> <p>Quantity: Nom. 12 pots of varying sizes</p> <p>Material: GRC planters with drainage holes</p> <p>Colour: Light colour(s)</p>			
3.09	NA	Geotextile	<p>General description: geotextile fabric as lining to dry creek bed</p> <p>Material: Heavy duty geotextile fabric</p> <p>Installation: place between sand bed and river pebbles secured with staples. Trench edges to secure in place. Install as per manufacturer's specification.</p>	Nominated by head subcontractor.	Product sheet and images	

4.00		Decorative Rocks				
4.01	R01	Feature rock	<p>General description: Existing site won rocks to be relocated throughout landscape in organic arrangement</p> <p>Sizes: Small-Medium located around stormwater headwalls and within creekbed. Medium-Large around pathways.</p> <p>Form: Select rock of varying forms</p> <p>Dimensions: Varies. Nom. 300 W x 300 L x 200H</p> <p>Installation: Embed rocks 1/3 into ground to prevent movement.</p>			
4.02	R02	Rock retaining wall	<p>General description: Existing site won rocks dry stacked for retaining</p> <p>Sizes: Medium-Large</p> <p>Form: Select rock of varying forms</p> <p>Dimensions: Varies. Nom. 400 W x 400 L x 200H</p> <p>Installation: Embed rocks 1/3 into ground to prevent movement.</p>			 <p>Example of character</p>
4.03	R03	Rock headwall	<p>General description: Existing local rocks stacked around stormwater headwal to conceal concrete and retain soil</p> <p>Sizes: Small-Medium located around stormwater headwalls and within creekbed.</p> <p>Form: Select rock of varying forms</p> <p>Dimensions: Varies. Nom. 300 W x 300 L x 200H</p>			 <p>Example of character</p>
4.04	R04	Fire Pit	<p>General description: Existing local rocks arranged in a circular fire pit layout</p> <p>Sizes: Medium</p> <p>Form: Select rock of varying forms</p> <p>Dimensions: Varies. Nom. 400 W x 300 L x 300H</p> <p>Installation: Embed rocks 1/3 into ground to prevent movement.</p>		Confirm rock selection on site with Superintendent	 <p>Example of character</p>
5.00		Softscape				
5.01	NA	Garden bed organic mulch	<p>General description: Mulch to garden beds</p> <p>Name: Course organic mulch</p>	<p>Mawsons Concrete & Quarries</p> <p>Location: 1 Holten Drive, Broken Hill, NSW, 2880</p> <p>Contact: 08 8087 1010</p>		