

Central Darling Shire Council
D08/2023- PAN 377822
Modification Development Approval
Section 4.16 (1) (a) of the
Environmental Planning and Assessment Act 1979
Approved by Council 31/01/ 2024

Nic Pasternatsky
Acting General Manager

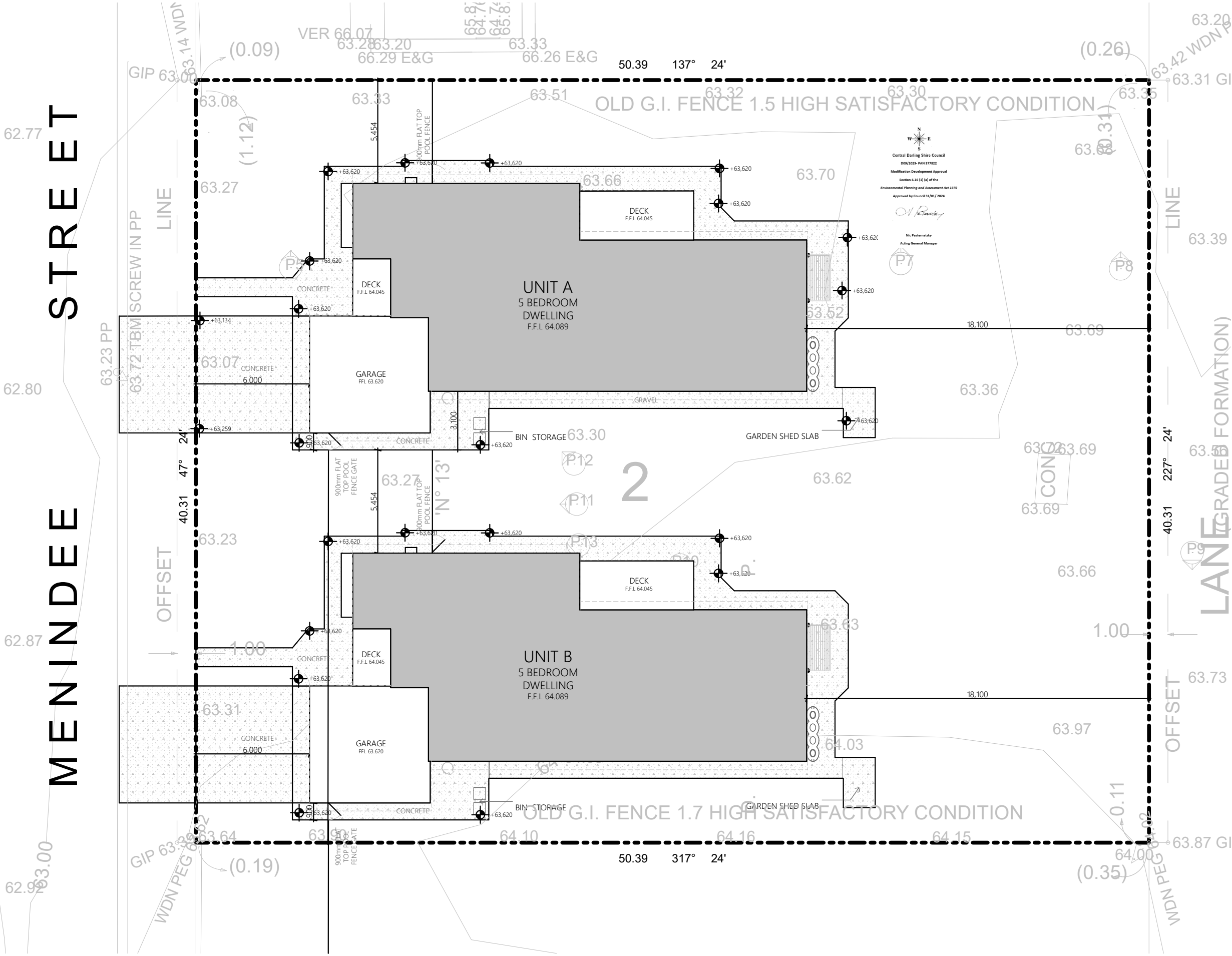


2879

 adaptive
INTERIORS

a. 24 JONES STREET, WAGGA WAGGA NSW 2650 - p.1800 064 474 - e.WWW.ADAPTIVEINTERIORS.COM.AU

DRAWING SCHEDULE					
ID	DRAWING	SCALE	ID	DRAWING	SCALE
A001			A014		
	SITE PLAN	1:200		GARAGE - NE	1:50
A002			A015	GARAGE - SE	1:50
	FLOOR PLAN	1:100		GARAGE - SW	1:50
A003				GARAGE - NW	1:50
	NORTH WEST ELEVATION	1:100		LAUNDRY - NE	1:50
	SOUTH EAST ELEVATION	1:100		LAUNDRY - SE	1:50
	SOUTH WEST ELEVATION	1:100		LAUNDRY - SW	1:50
	NORTH EAST ELEVATION	1:100		LAUNDRY - NW	1:50
A004			A016		
	SECTION 1	1:50		ACTIVITY - NE	1:50
A005	SECTION 2	1:50		ACTIVITY - SE	1:50
				ACTIVITY - NW	1:50
	D-01 - EAVE DETAIL	1:10		ACTIVITY - SW	1:50
	D-02 - FLOOR DETAIL	1:10		BATH - NE	1:50
	D-03 - FLASHING DETAIL	1:10		BATH - NW	1:50
	D-04 - FOOTING DETAIL	1:10		BATH - SW	1:50
	D-05 - CANTILEVERED TRUSS	1:10		BED 2 - NE	1:50
	D-06 - STAIR DETAIL	1:10		BED 2 - SW	1:50
	D-07 - GARAGE FOOTING	1:10		BED 2 - SE	1:50
A006				BED 2 - NW	1:50
	D-11 MODULAR FLOOR CONNECTION	1:10		BATH - SE	1:50
	PORTICO ELVEVATION	1:50	A017		
	PORTICO PLAN DETAIL	1:20		BED 3 - NE	1:50
	D-8 - POST CONNECTION	1:10		BED 3 - SW	1:50
	D-09 - FAN DETAIL	1:10		BED 3 - NW	1:50
	10 - DECK ROOF CONNECTION	1:10		BED 3 - SE	1:50
A007				BED 4 - NE	1:50
	FLOORING PLAN	1:100		BED 4 - NW	1:50
A008				BED 4 - SW	1:50
	ROOF PLAN	1:100		BED 4 - SE	1:50
A009				POWDER - NE	1:50
	REFLECTED CEILING PLAN	1:100		POWDER - SW	1:50
A010				POWDER - SE	1:50
	ELECTRICAL PLAN	1:100		POWDER - NW	1:50
A011			A018		
	KITCHEN LIVING DINING - NE	1:50		SHED SLAB DETAIL	1:10
	KITCHEN LIVING DINING - SW	1:50	A019	SITE SET OUT	1:200
	KITCHEN LIVING DINING - SE	1:50			
	GARAGE ENTRY - NE	1:50		LANDSCAPE PLAN	1:200
	GARAGE ENTRY - NW	1:50	A020	GRAVEL PATH DETAIL	1:10
	GARAGE ENTRY - SW	1:50		PLANT DETAIL	1:20
	GARAGE ENTRY - SE	1:50	A021		
	KITCHEN LIVINIG DINING - NW	1:50		HYDRAULIC PLAN	1:200
A012			A022		
	ENTRY - NE	1:50		DOOR SCHEDULE	1:2.52
	ENTRY - SW	1:50		WINDOW SCHEDULE	1:2.52
	ENTRY - SE	1:50		DOOR SCHEDULE	1:2.52
	ENTRY - NW	1:50		WINDOW SCHEDULE	1:2.52
A013					
	ENSUITE - NE	1:50			
	ENSUITE - SE	1:50			
	ENSUITE - NW	1:50			
	ENSUITE - SW	1:50			
	MASTER - NE	1:50			
	MASTER - NW	1:50			
	MASTER - SW	1:50			
	MASTER - SE	1:50			
	W.I.R - NE	1:50			
	W.I.R - NW	1:50			
	W.I.R - SW	1:50			
	W.I.R - SE	1:50			



- SITE PLAN NOTES**
- All site dimensions are in millimetres unless specified otherwise. Check and verify all dimensions, levels & conditions on site before costing, ordering or prefabricating any components from this drawing.
 - Refer to plan of subdivision for verification of all bearings, distances and easements.
 - Installation of all services including all stormwater, wastewater and sewer details shall comply with the respective supply authority requirements.
 - Ensure the F.S.L around the perimeter of the dwelling slopes away from the dwelling a minimum 50mm over a distance of 1m.

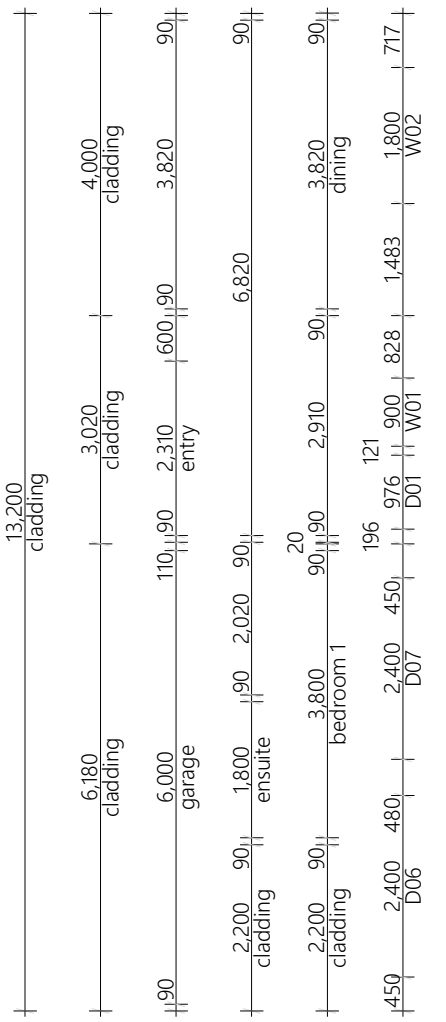
- STORMWATER NOTES**
- Stormwater to discharge to legel point of discharge as per local council requirements.
 - The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footings and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
 - All pipes shall be of 90mm UPVC material when roof area is <250m² and 100mm UPVC when roof area is >250m² @ no less than 1:100 fall.
 - Pipes should be laid with even fall & to the legal point of discharge as directed by the relevant authority.
 - Provide all bends, junctions etc as necessary inspection opening shall be provided at major direction changes and 9.0m (max) ctrs.
 - Pipes shall be laid no closer than 600mm from building line.
 - Provide agricultural drains to all site cuts or batters exceeding 600mm in height, ag drains to be connected to approved stormwater system via silt pit.

- Stormwater drains shall be not less than;
- NOT SUBJECT TO VEHICULAR MOVEMENT:**
- 100mm under soil where there is no paving
 - 50mm* under paved or un-reinforced concrete areas
- SUBJECT TO VEHICULAR MOVEMENT:**
- 450mm under soil where there is no paving
 - 75mm* under paved or un-reinforced concrete areas (light vehicle loading only - for heavy vehicle loading refer to AS3500.3 - Table 7.1

- SERVICES NOTES**
- Different parallel services that are in close proximity may be laid in a common benched trench or easement subject to approval of relevant authorities.
 - Back fill of all service trenches in garden and grass areas shall be approved fill of maximum particle size 75mm from the service bedding material to the underside of the topsoil.

- EXCAVATION NOTES**
- The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m.
 - Excavations must be 600mm clear from boundary. If this can not be achieved a protection works notice may be required if relevant building surveyor determines it is required.
 - Verify power, telstra and water main positions prior to any excavations

SITE PLAN
1:200



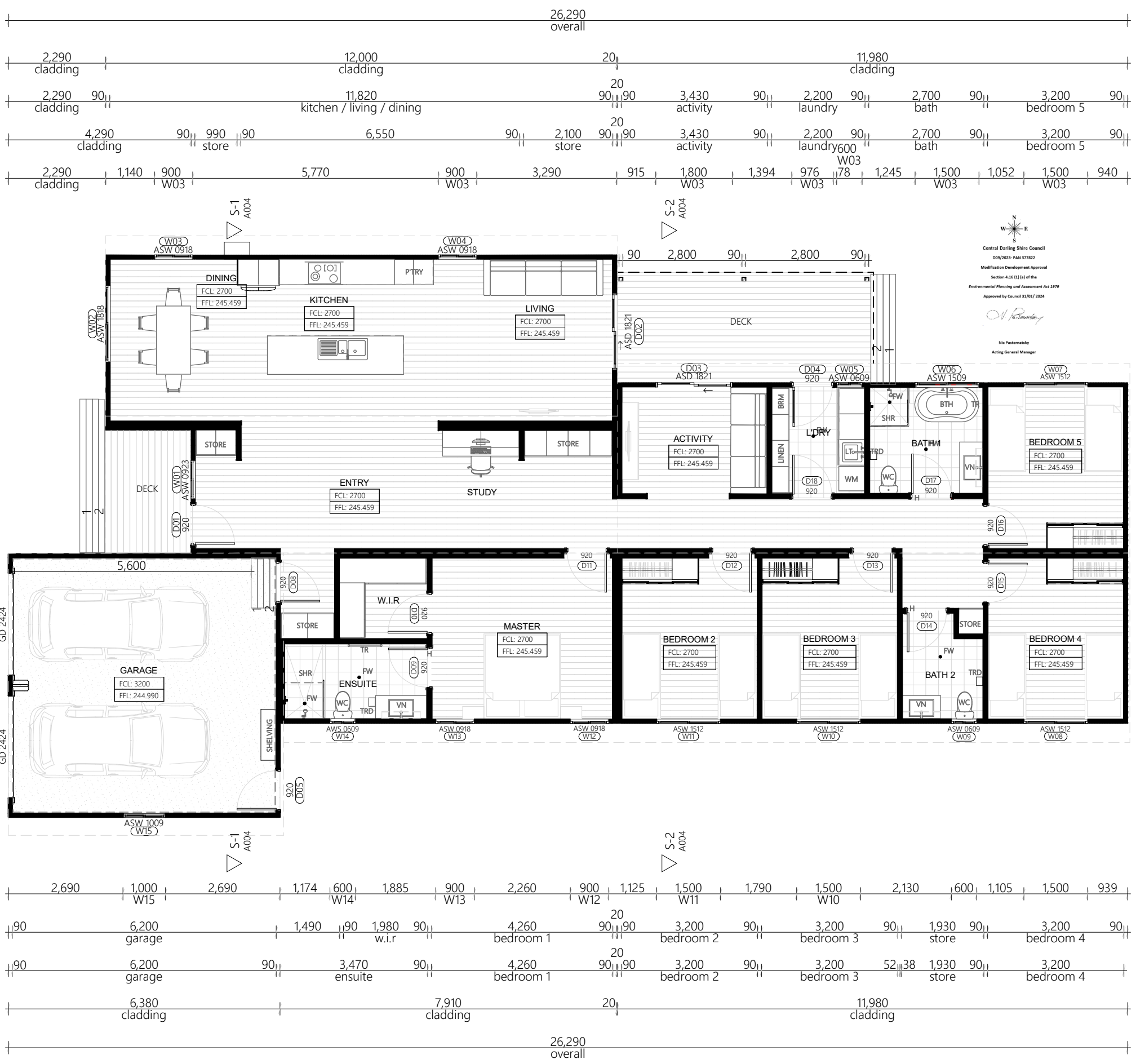
NE
A003

NW
A003

FLOOR PLAN

1:100

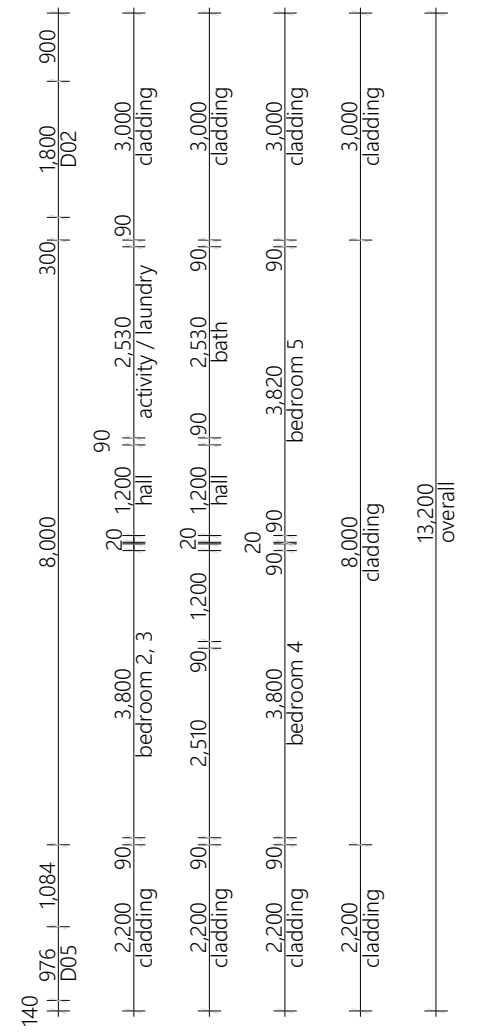
AREAS	
LIVING	206m ²
GARAGE	39.4m ²
FRONT DECK	32.3m ²
REAR DECK	32.2m ²
TOTAL	277.7m ²



SE
A003

SW
A003

- LEGEND
- AP - ACCESS PANEL
 - ASD - ALUMINIUM SLIDING DOOR
 - ASW - ALUMINIUM SLIDING WINDOW
 - BRM - BROOM CUPBOARD
 - BTH - BATH
 - FW - FLOOR WASTE
 - GD - GARAGE DOOR
 - H - LIFT OFF HINGES
 - HB - HAND BASIN
 - LT - LAUNDRY TUB
 - P'TRY - PANTRY
 - SHR - SHOWER
 - TR - TOWEL RAIL
 - TRD - TOLIET ROLL DISPENSER
 - VN - VANITY
 - WC - WATER CLOSET
 - W.I.R - WALK IN ROBE

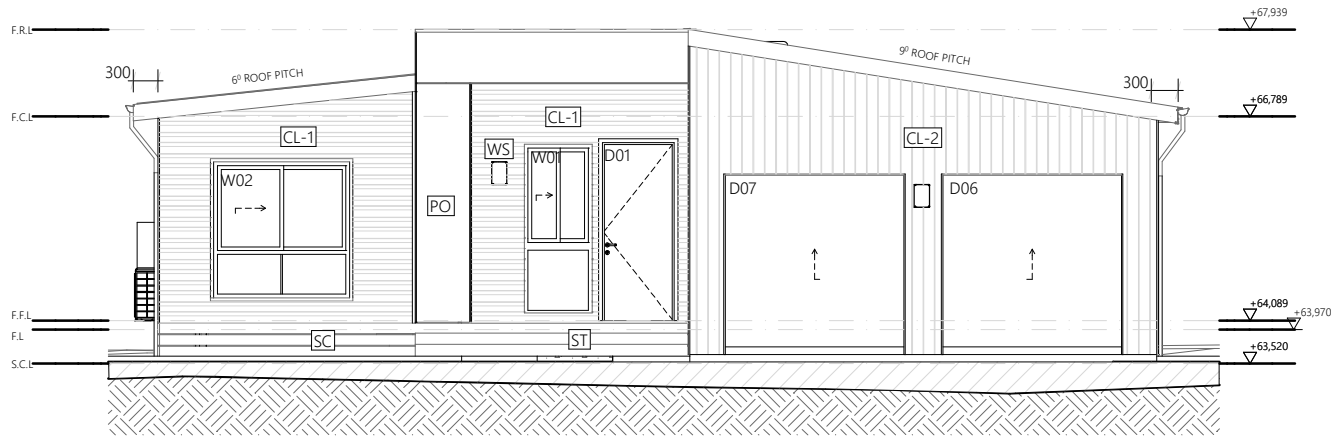


NOTE

ALL DIMENSIONS ARE TO STUD FRAME

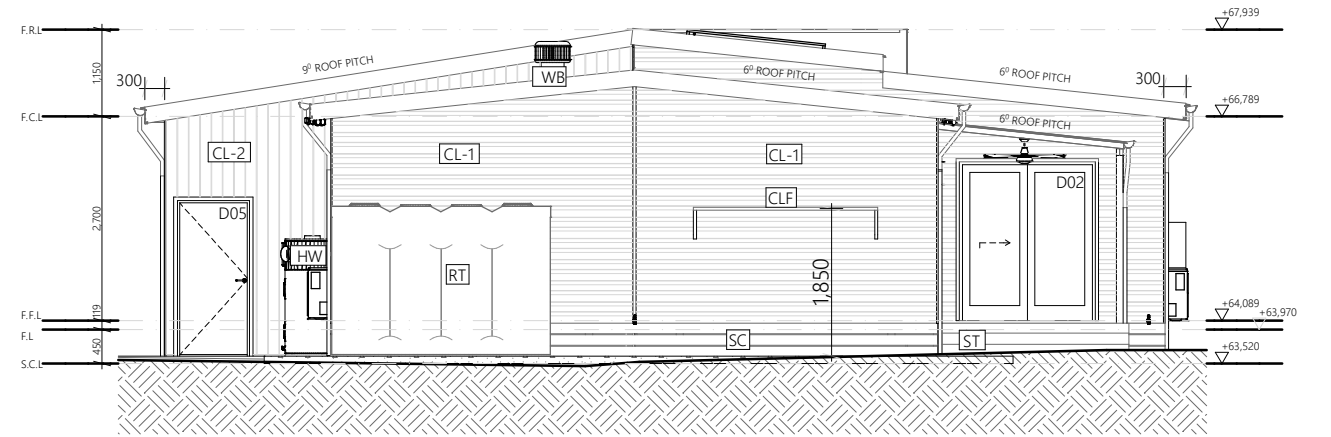
BATHROOMS TO HAVE 50mm SET DOWN

ISSUED FOR CONSTRUCTION



NORTH WEST ELEVATION

1:100



SOUTH EAST ELEVATION

1:100



SOUTH WEST ELEVATION

1:100



NORTH EAST ELEVATION

1:100

N
W
E
S

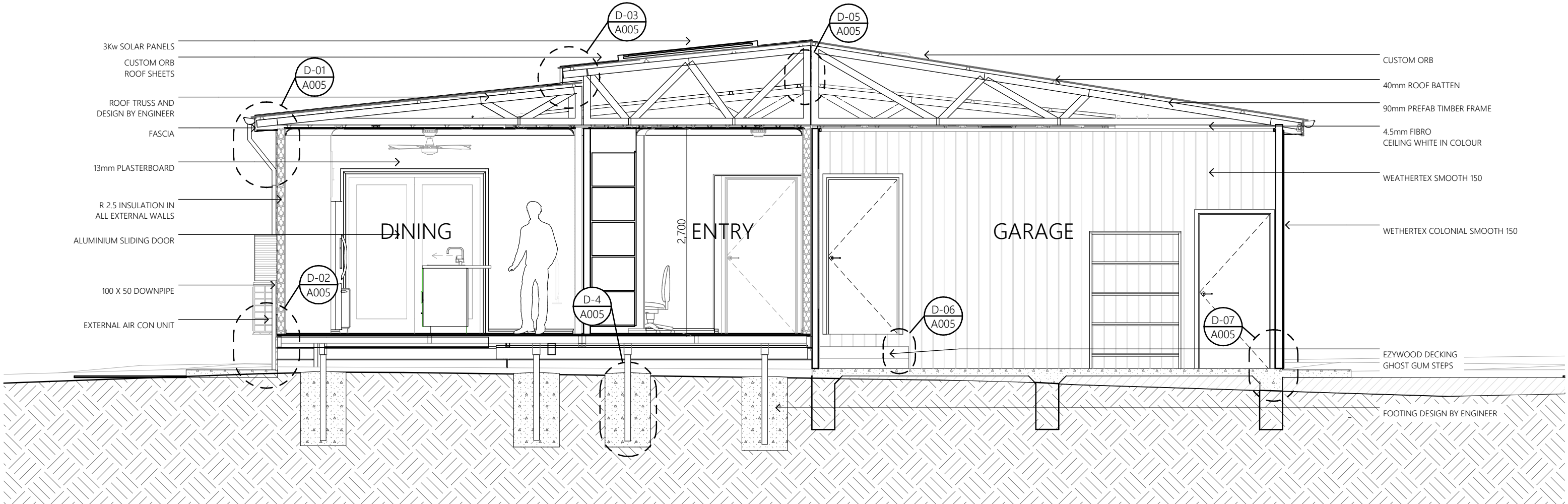
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LEGEND

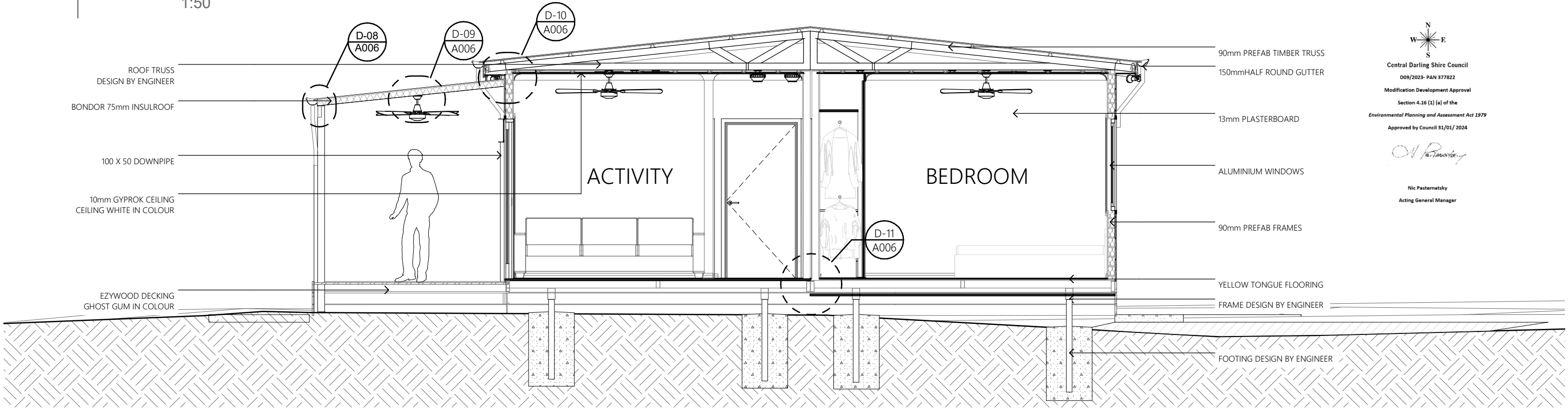
AC E	EXTERNAL AIR CONDITIONING UNIT
BRACKET MOUNTED	
CF	COMPACTED FILL
CL-1	WETHERTEX COLONAIL SMOOTH 150
CL-2	WETHERTEX 150mm SMOOTH
CLF	CLOTHES LINE FOLDING
F.C.L	FINISHED CEILING LEVEL
F.L	FOUNDATION LEVEL
F.F.L	FINISHED FLOOR LEVEL
F.R.L	FINISHED ROOF LEVEL
HW	HOT WATER UNIT
MB	METER BOX
PO	WETHERTEX NATURAL
RCL	CUSTOM ORB
RT	3000L RAINWATER TANK
SC	SCREEN CLADDING
S.C.L	SITE CUT LEVEL
SOL	9KW SLAR PANELS
SP	SANDWICH PANEL
ST	900w STAIRCASE
WB	WIRLY BIRD
WS	WALL SCONE

ISSUED FOR CONSTRUCTION



SECTION 1

1:50



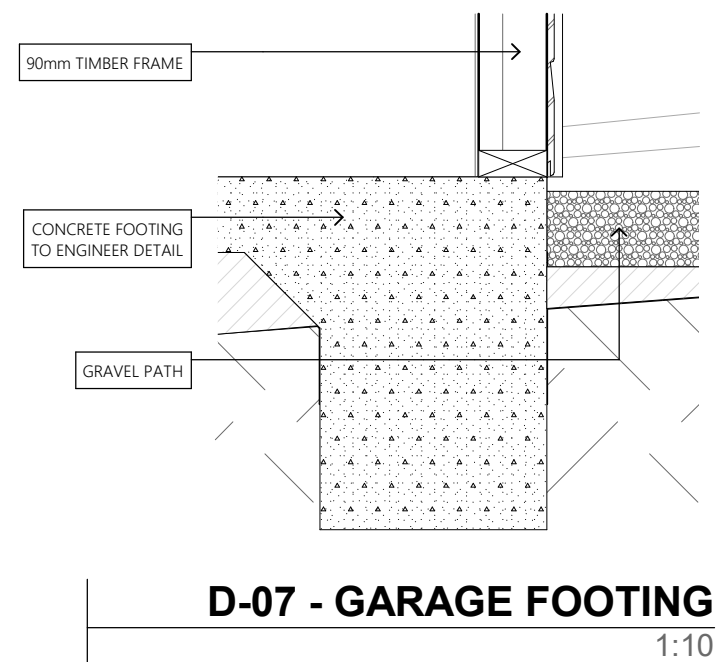
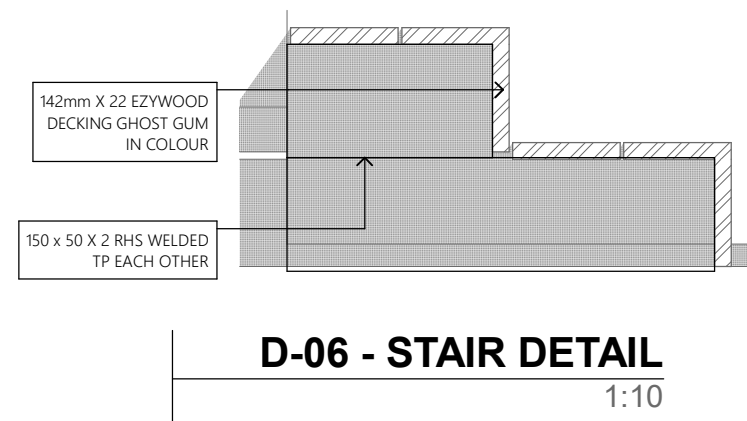
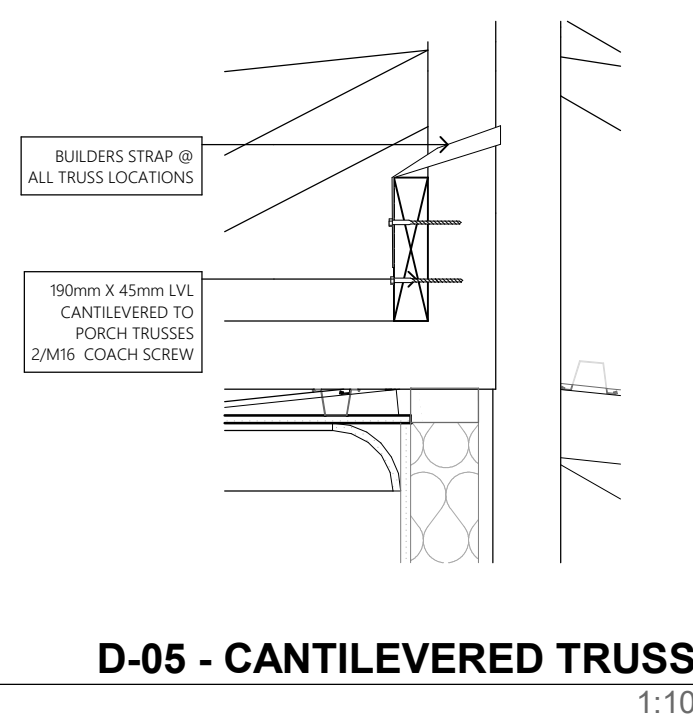
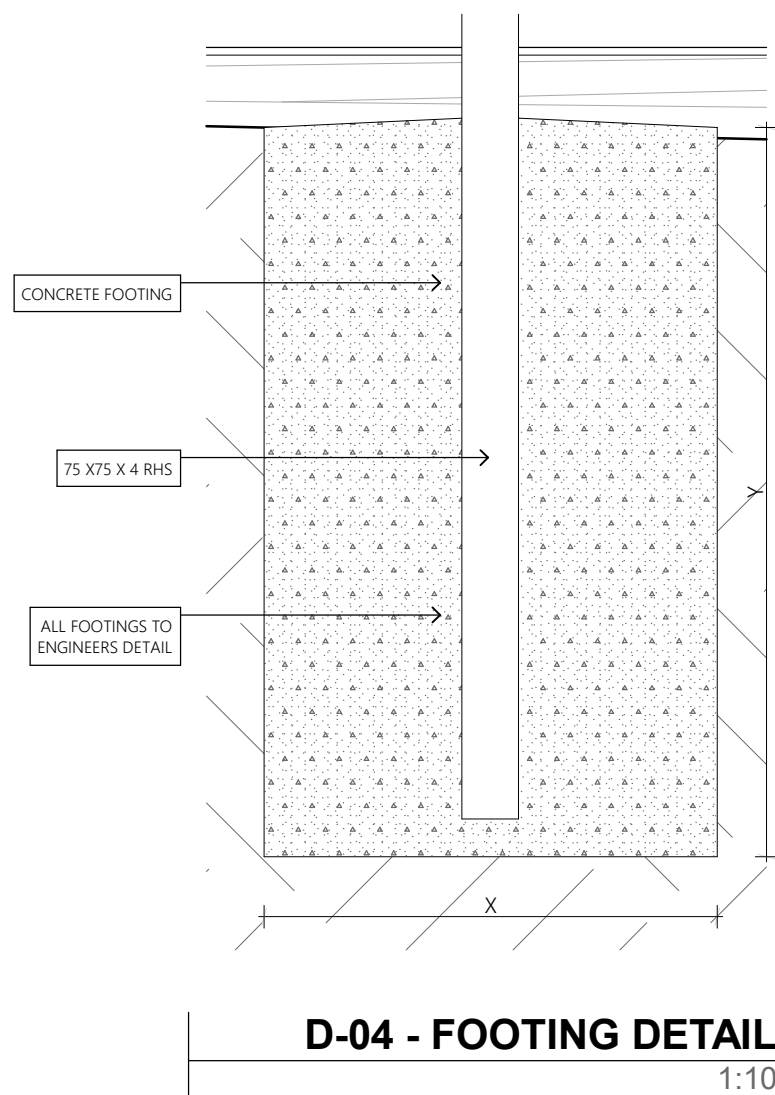
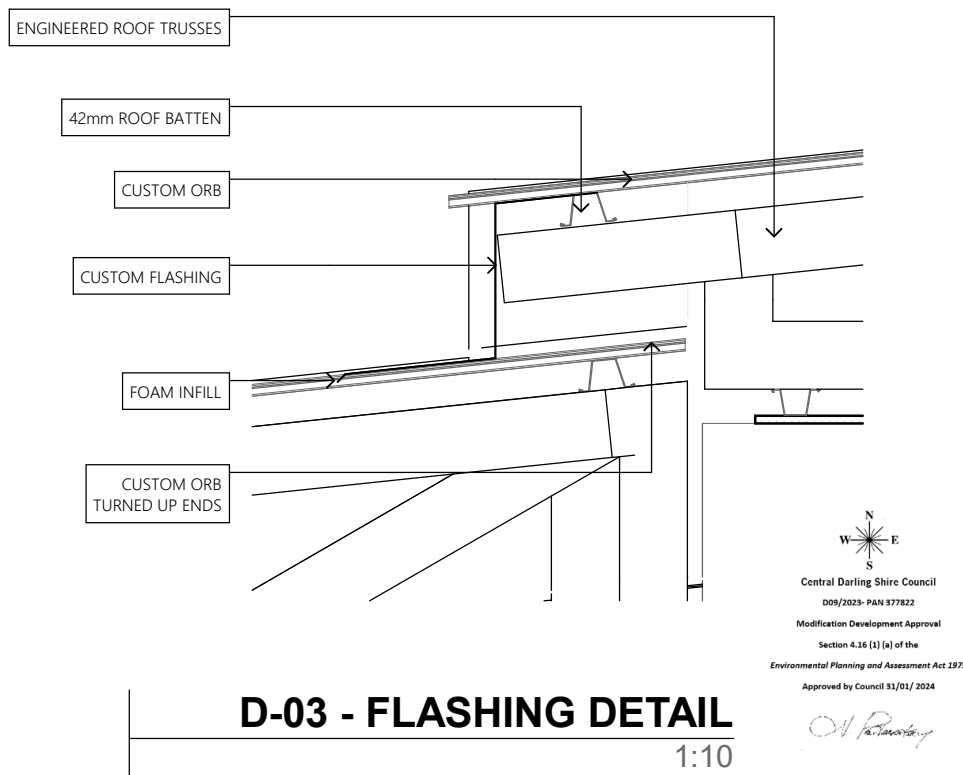
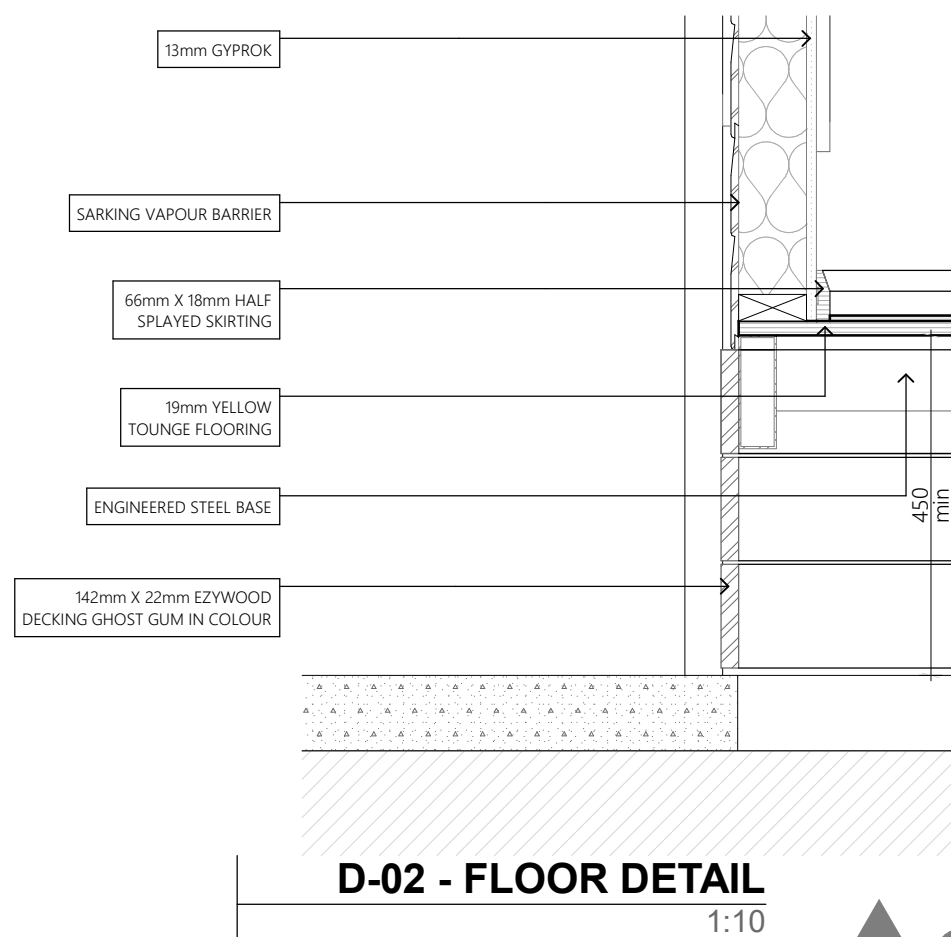
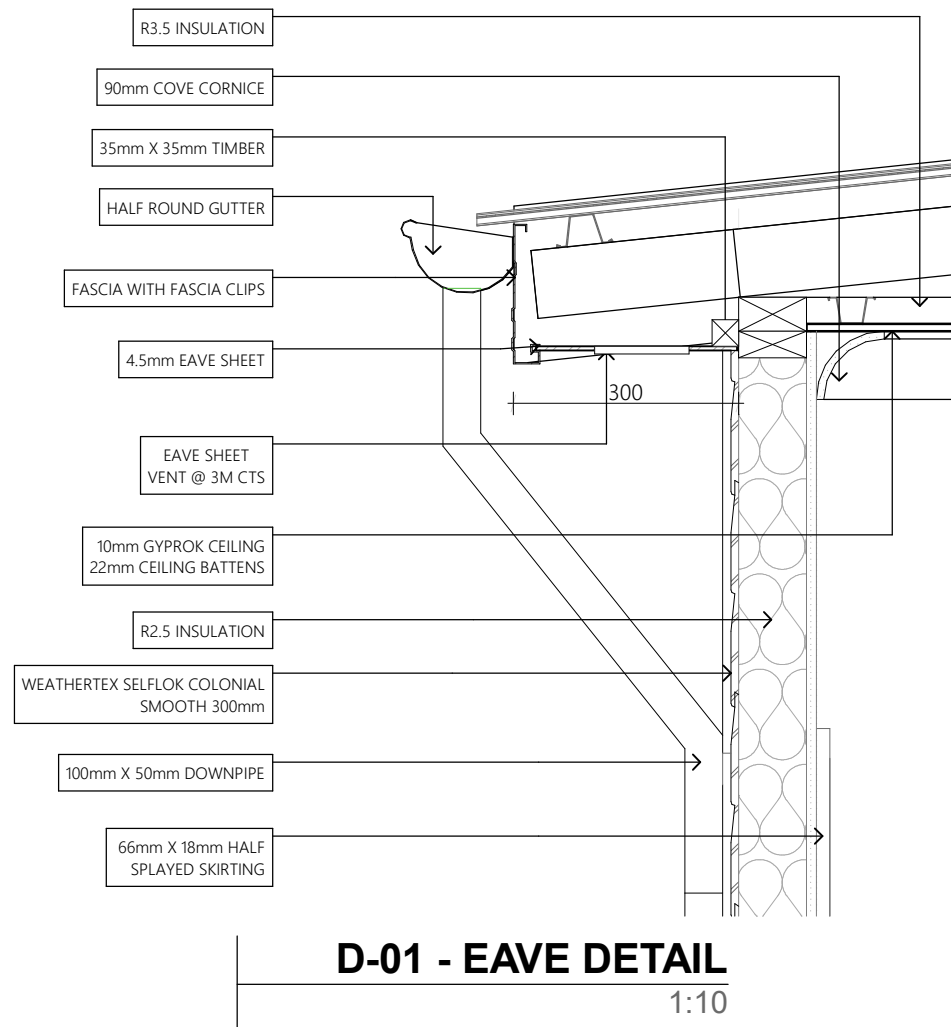
SECTION 2

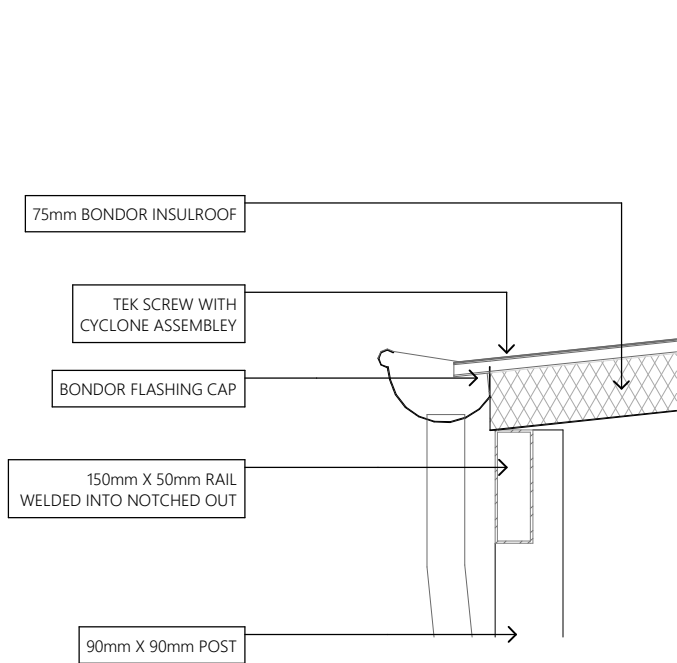
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N
W E
S

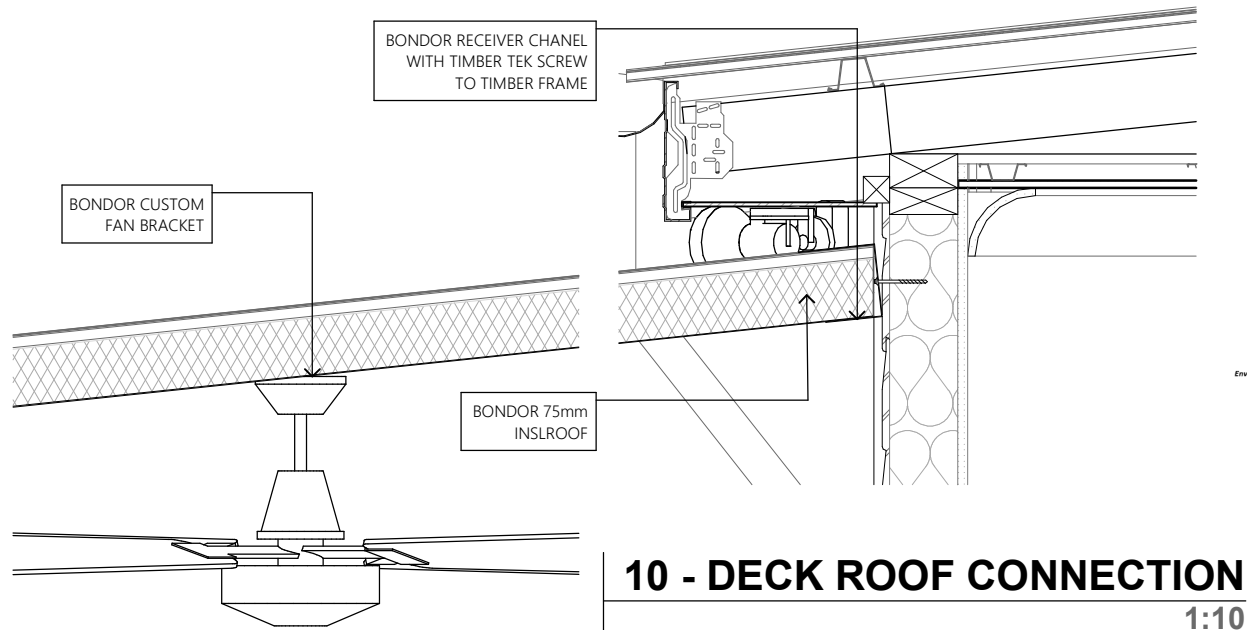
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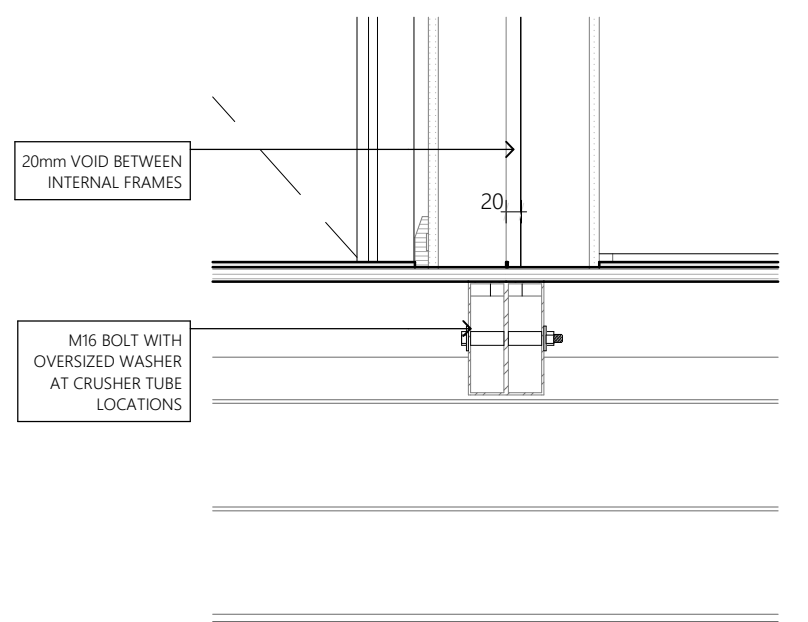


D-8 - POST CONNECTION
1:10

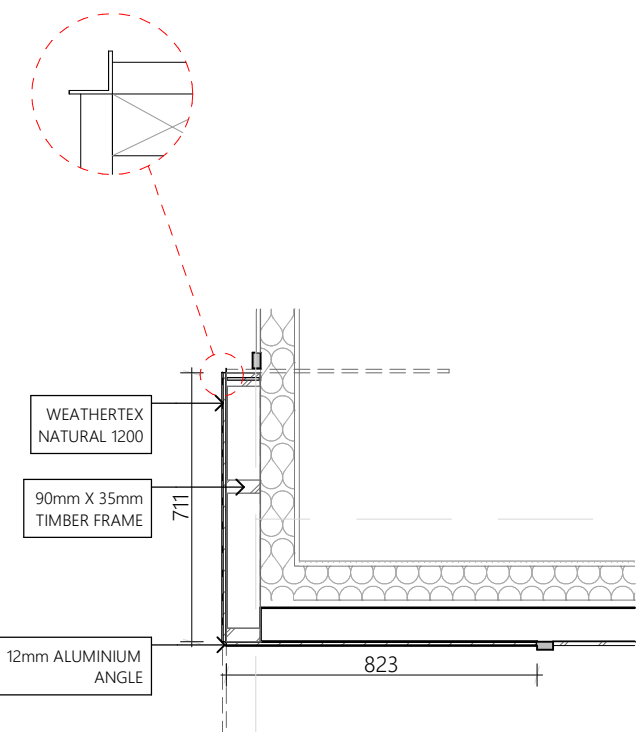


D-09 - FAN DETAIL
1:10

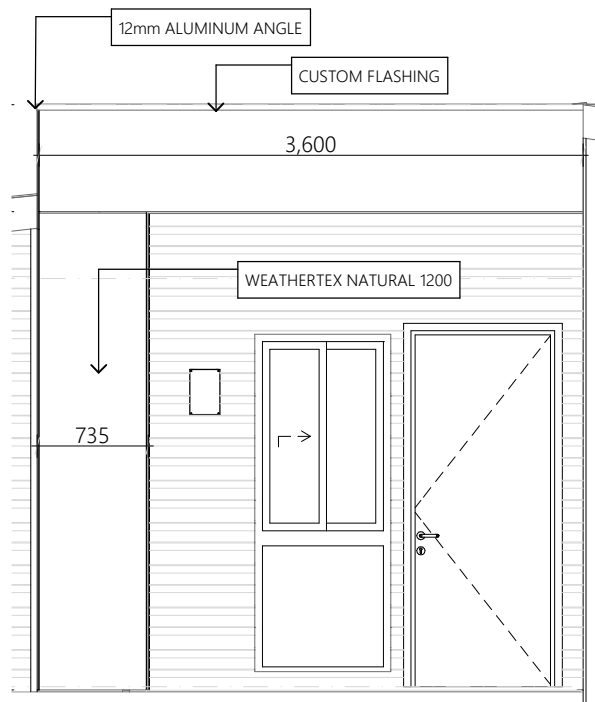
10 - DECK ROOF CONNECTION
1:10



D-11 MODULAR FLOOR CONNECTION
1:10

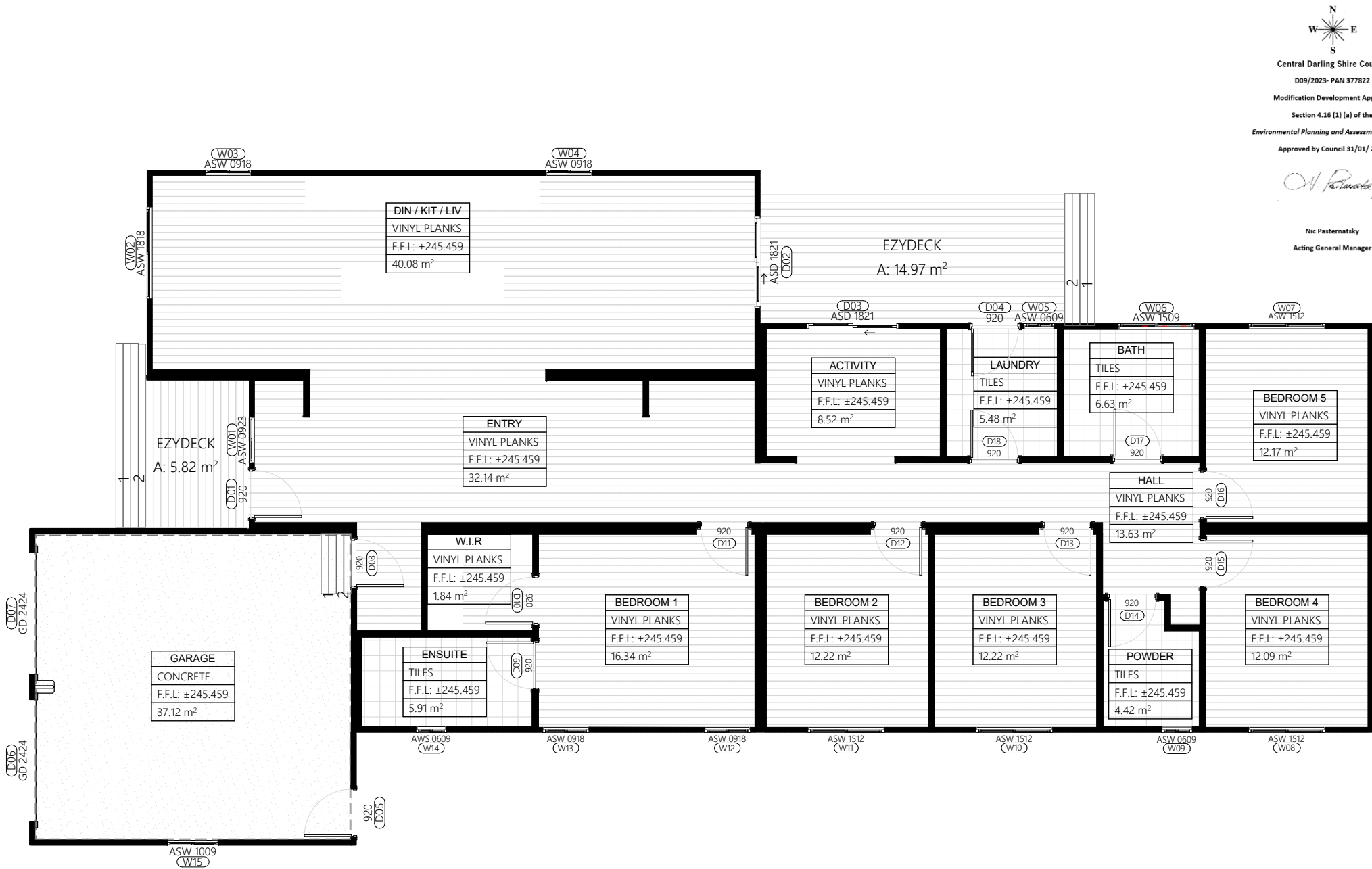


PORTICO PLAN DETAIL
1:20



PORTICO ELVEVATION
1:50





FLOORING PLAN

1:100

GENERAL NOTES

WATERPROOFING

All waterproofing to NCC Part 3.8.1 Wet areas and external waterproofing

FLOORS

- Bathrooms - Water resistant floor of the room.
- Shower - Waterproof floor in shower area (including any hob or step-down)
- Laundry - Water resistant floor of the room.
- WC - Water resistant floor of the room.

WALLS

- Bathrooms - Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.

Water resistant all exposed surfaces below vessel lip.

- Shower - Waterproof all walls in shower area to a height the greater of—
 - not less than 150 mm above floor substrate; or
 - not less than 25 mm above maximum retained water level; andWater resistant walls in shower area to not less than 1800 mm above finished floor level of the shower.

- Laundry - Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.

- WC - Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.

VINYL FLOORING

Install to manufacturers details and specifications.

For best results assess the site and building conditions carefully. Installation must comply with Australian Standard AS1884-2021 for Floor coverings - Resilient sheet and planks - Installation practices.

The ambient temperature must be between 15 and 28°C. This temperature range must be maintained 24 hours before, during and at least 24 hours after the installation is complete. The boxes of planks must be stored flat in these conditions for at least 24 hours prior to installation. The planks must not be bonded if the temperature of the subfloor is less than 10°C.

Prior to installation the subfloor should be solid and flat with no nails protruding. Cupped or warped boards should be sanded flat. Wood floor should be flat and level to a deviation of no greater than 4mm in a length of 2m at any point.

LEGEND

VINYL PLANKS	KENBROCK DURAPLANK	
TILES	300 x 300 HAMPTON GREY	

ISSUED FOR CONSTRUCTION



Project NO.
22311

Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Sheet ID
A007

- Builder to verify all dimensions and levels on site prior to commencement of proposed scope of works.
- All work to be carried out in accordance with the National Construction Code of Australia 2019 – Volume 2.
- Check & verify all dimensions, levels & conditions on site before costing, ordering or prefabricating any components from this architectural drawing set.

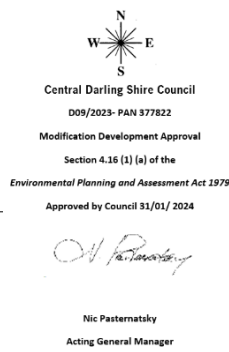
- Performance Requirement P2.2.1 is satisfied when drainage is designed and constructed in accordance with the NCC 2019 – 3.1.3.1, Australian Standard AS/NZS 3500.3 and local authorities' requirements.
- Surface water must be diverted away from a Class 1 Building in accordance with the NCC 2019 – 3.1.3.3. For slab-on-ground construction, the external surface surrounding the slab must be drained to move surface water away, with an effective slope of not less than 50mm over the first 1000mm from the building, in accordance with the NCC 2019 – 3.1.3.3(a). The finish floor height of a slab-on-ground construction must be not less than 100mm-150mm above the finish ground level, in accordance with the NCC 2019 – 3.1.3.3(b).
- Where subsoil drainage is provided to divert surface water away from building, subsoil drainage must have a uniform fall of not less than 1:300; and discharge into an external silt pit or sump, in accordance with the NCC 2019 – 3.1.3.4.
- Stormwater drainage system must be designed so that any overflow during heavy rain periods is prevented from flowing back into the building. Installing 90mm Class 6 UPVC stormwater drains underground, shall be covered with specified soil or other permeable surfaces, in accordance with the NCC 2019 – 3.1.3.5.
- Stormwater pipes shall have minimum cover from finish surface to top of pipe within trenching in accordance with the AS3500.3-2018 – Clause 6.2.5. Trenches not subject to vehicular loading without paving must have a minimum cover of 100mm, for trenching that is subject to vehicular loading with pavement must have a minimum cover of 100mm, as per Table 6.2.5.

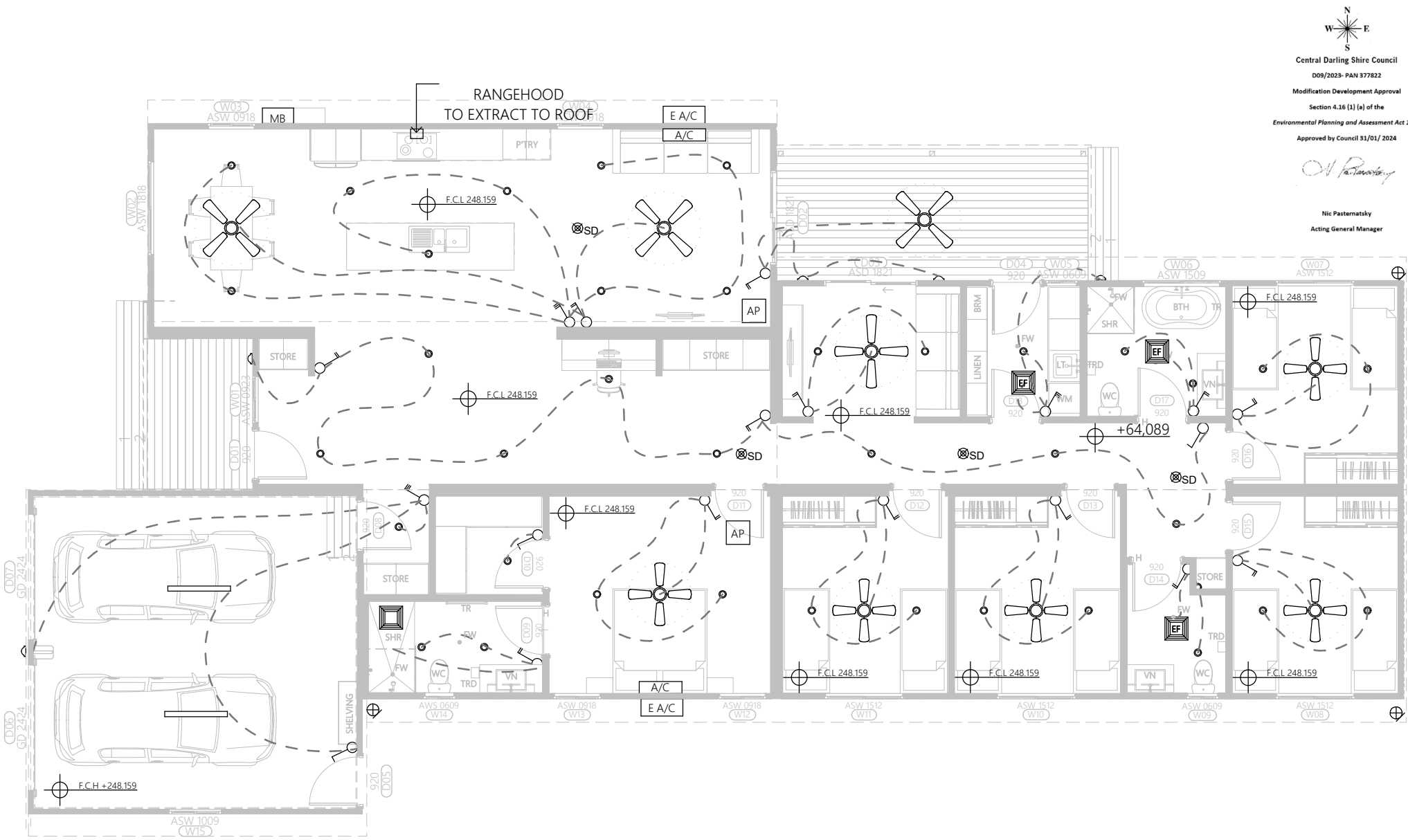
- Performance Requirement P2.4.1 and P2.2.2 for external waterproofing is satisfied for wet areas in a building if they are waterproof or water resistant in accordance with the NCC 2019 – 3.8.1.2 & Table 3.8.1.1 and comply with AS3740-2004 – Waterproofing of Wet Areas in Residential Buildings.
- External waterproofing membranes for above ground use must be in accordance with the NCC 2019 – 3.8.1.3 and comply with AS4654.1 and AS4654.2.

- Gutters, down pipes and flashings must be manufactured in accordance with AS/NZS 2179.1 for metal, be manufactured in accordance with AS1273 for UPVC components, be compatible with all upstream roofing materials in accordance with the NCC 2019 – 3.5.12(b) and not contain any lead if used on a roof forming part of a potable water catchment area.
- The size of guttering must be in accordance with the NCC 2019 – Table 3.5.3.2a to 3.5.3.2c and be suitable to remove rainwater falling at the appropriate rainfall intensity listed in the Table 3.5.3.1a to 3.5.3.1h. For eaves and gutters - 20-year average recurrence interval or for internal box and valley gutters - 100-year average recurrence interval, in accordance with the NCC 2019 – 3.5.3.3. Box gutters must be in accordance with AS/NZS3500.3.
- Gutters must be installed with a fall of not less than 1:500 for eaves gutters, unless fixed to metal fascias and 1:100 for box gutters. Eaves gutters must be supported by brackets securely fixed at stop ends and at not more than 1.2 m centres, as per the NCC 2019 – 3.5.3.4.

RCL	COUSTOM ORB	
SP	BONDOR 75mm INSULROOF	
FLASHINGS	CUSTOM	
GUTTER	150mm HALF ROUND	
DOWNPIPE	100mm X 50mm	

	Revision: G
	Revision Date: 26/10/2023
	Drawn: D.Argus
Project NO. 22311	Sheet ID A008





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REFLECTED CEILING PLAN
1:100

ELECTRICAL NOTES

Light points will be located as per the plan provided and where there is only one light to the room it will be centrally located in the ceiling to the room.

Where required, provide power for the rangehood, hot plates, wall/underbench oven, microwave, refrigerator, evaporative cooling unit, heating unit, garage door and hot water service.

All light switches to be installed at a height of 1050mm above finished floor level unless otherwise stated and GPO's will be installed at 150mm above finished floor level unless above a benchtop and the point will be installed minimum 150mm from finished benchtop height, unless otherwise specified for all points and switches.

All GPO's to be located minimum 500mm clear of any tubs, bath and showers unless otherwise specified.

Mechanical ventilation where required within sanitary compartments, laundry's & bathrooms is to exhaust directly outside the building by either,
- Ducts (shared or otherwise); or
- Into the roof/ceiling space provided it is adequately ventilated by open eaves and / or roof vents inc. whirly bird(s) in accordance with Clause 3.8.5.2 of the NCC 2019.

SMOKE ALARM NOTES

Smoke alarms must be installed in class 1A buildings in accordance with the NCC 2019 – 3.7.5.3 & 3.7.5.5 and class 1B buildings in accordance with the NCC 2019 – 3.7.5.4 & 3.7.5.5. Also smoke alarms must comply with AS 3786 and must be connected to the consumer mains power where consumer power is supplied to the building as per the NCC 2019 – 3.7.5.2(c).

Where more than one smoke detector is provided, smoke detectors must be interconnected in accordance with the NCC 2019 – 3.7.5.2(d).

ARTIFICIAL LIGHTING NOTES

Sanitary compartments, bathrooms, shower rooms, airlocks & laundries must be provided with artificial lighting if natural light in accordance with relevant provisions cannot be provided, in accordance with the NCC 2019 – 3.8.4.3. Artificial lighting must be provided at a rate of not less than one light fitting per 16m² of floor area or in accordance with AS/NZS1680.

Artificial lighting must be provided in accordance with the maximum allowable provisions in accordance with the NCC 2019 - 3.12.5.5.

LEGEND

AP	450 x 450 ACCESS PANEL	SD	SMOKE DETECTOR
•	DOWNLIGHTS	EF	EXTRACTION VENT
CEILING FAN - 1400		SWITCH - SINGLE 1000h	
		SWITCH - DOUBLE 1000h	
CEILING FAN - 1200		SWITCH - TRIPLE 1000h	
		A/C	AIR CONDITION UNIT
SENSOR LIGHT - DOUBLE		E A/C	EXTERNAL A/C UNIT
1200 BATTON - CEILING		MB	METER BOX

ISSUED FOR CONSTRUCTION



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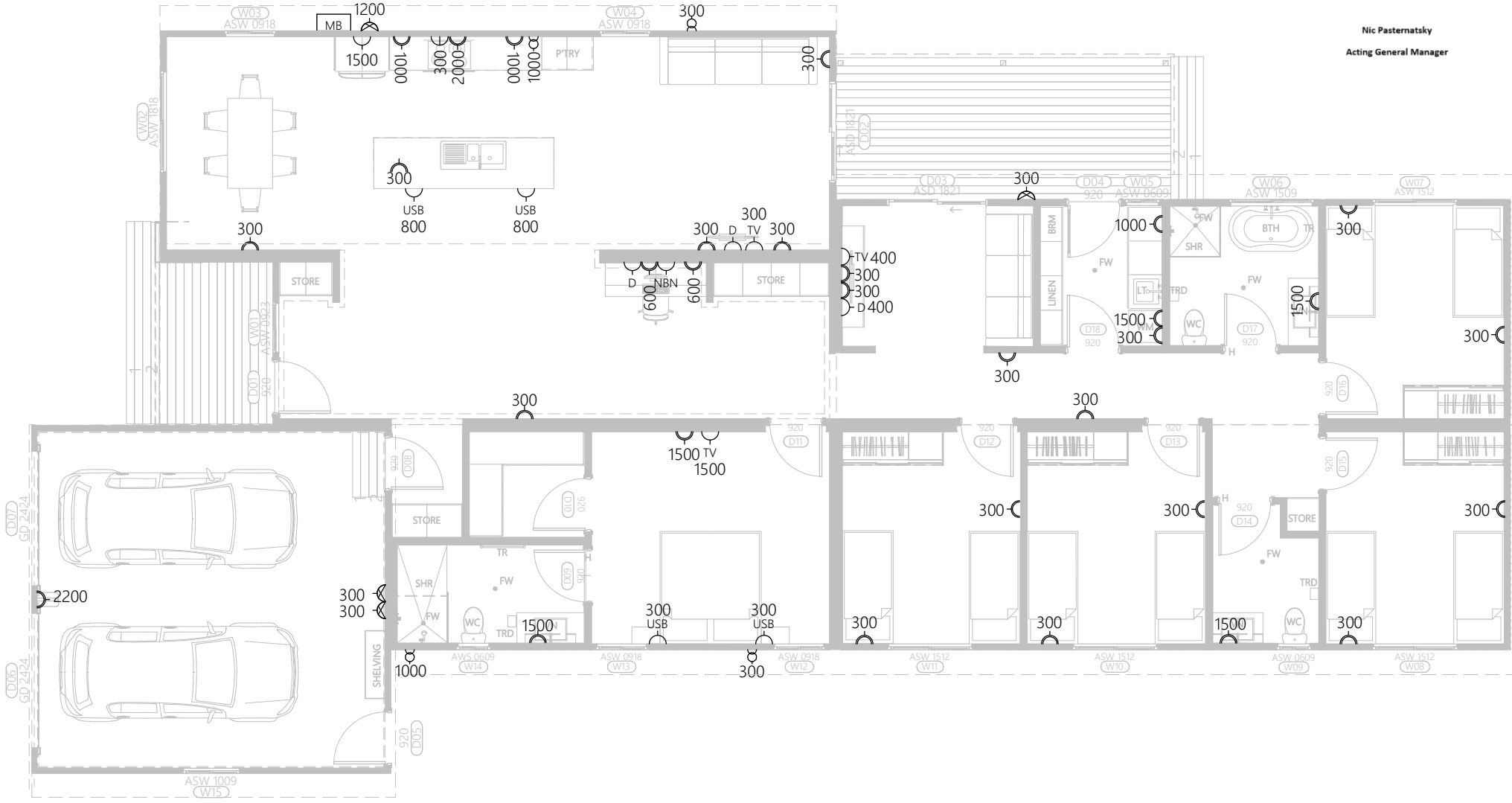
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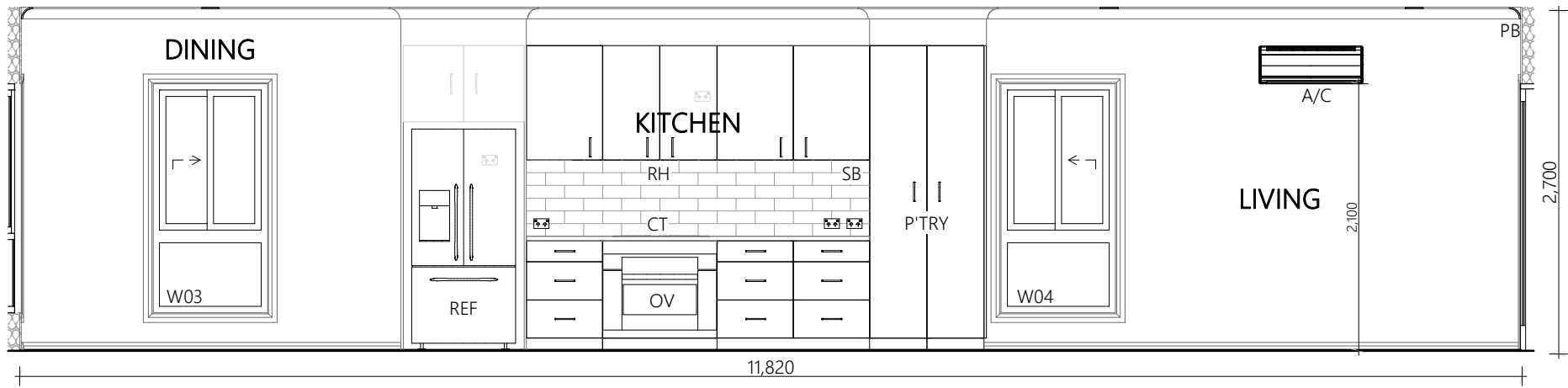
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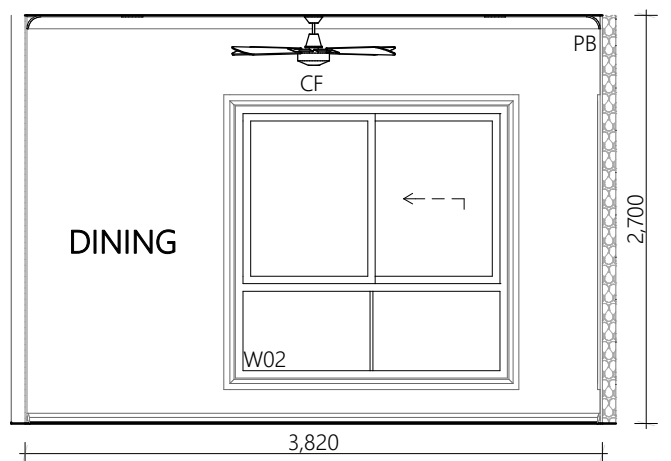
Acting General Manager





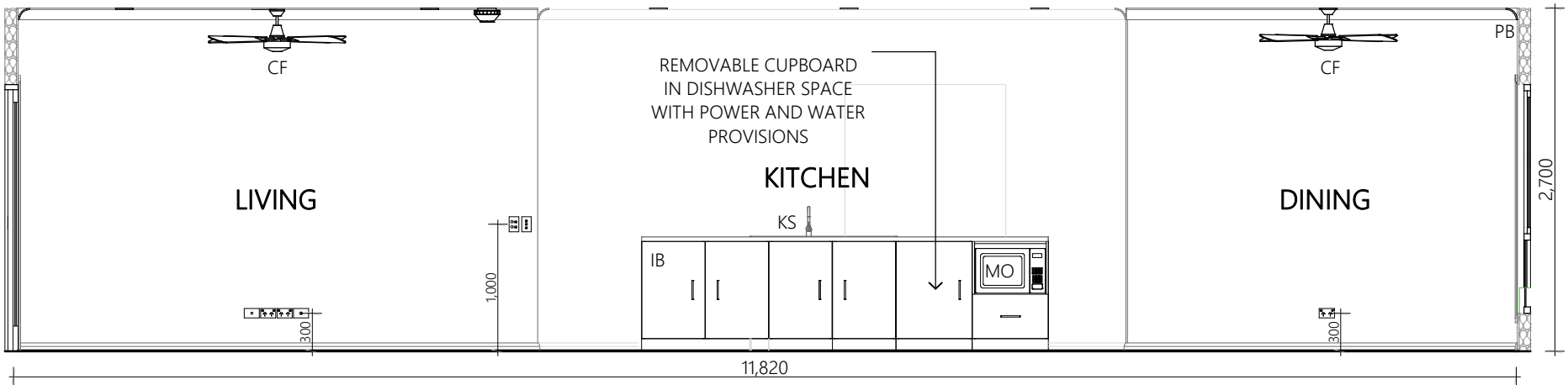
KITCHEN LIVING DINING - NE

1:50



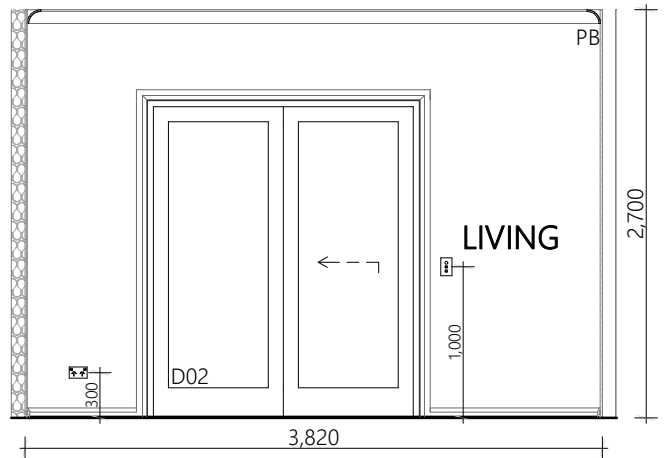
KITCHEN LIVING DINING - NW

1:50



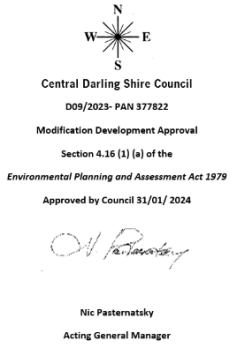
KITCHEN LIVING DINING - SW

1:50



KITCHEN LIVING DINING - SE

1:50



GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.

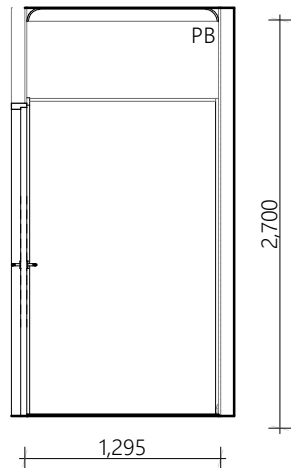
CORNICE - 90mm cove cornice

SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats
- splashback tile 300 x 100 subway tile with aluminium angle on top

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board

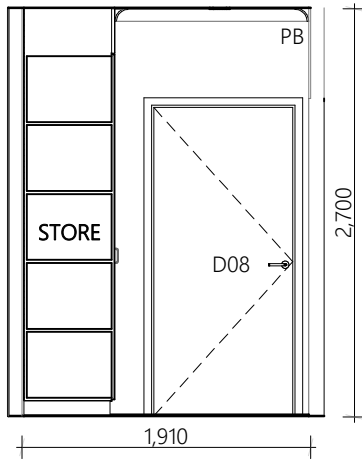
LEGEND		
ID	DESCRIPTION	NOTES
A/C	SPLIT SYSTEM AIR CON	HITACHI 7.1 Kw
CF	CEILING FAN	CEILING FAN 140cm FAN
CT	COOK TOP	FISHER & PAYKEL CE905CBX2 90CM CERAMIC COOKTOP
D-02	DOOR	ALUMINIUM SLIDING - NIGHT SKY
DW	DISHWASHER	SUPPLIED BY CLIENT
IB	ISLAND BENCH	SEE JOINERY LAYOUT
KS	KITCHEN SINK	CLARK 1100 1 & 3/4 BOWL
MO	MICROWAVE OVEN	SUPPLIED BY CLIENT
OV	OVEN	WESTINGHOUSE 90CM MULTIFUNCTIONAL
PB	PLASTER BOARD	13mm PLASTERBOARD
REF	REFRIGERATOR	SUPPLIED BY CLIENT
RH	RANGEHOOD	FISHER & PAYKEL HP90ICSX3 90CM UNDERMOUNT
SB	SPLASH BACK	300 X 100 mm UNITED WHITE SUBWAY TILE - BRICK BOND
W02 W03 W04	WINDOWS	ALUMINIUM SLIDING WINDOW - NIGHT SKY

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS



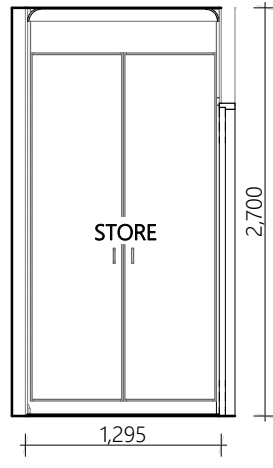
GARAGE ENTRY - NE

1:50



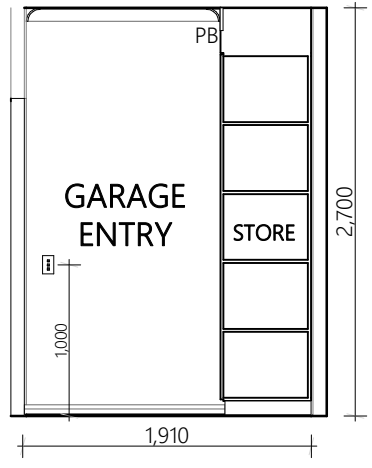
GARAGE ENTRY - NW

1:50



GARAGE ENTRY - SW

1:50



GARAGE ENTRY - SE

1:50



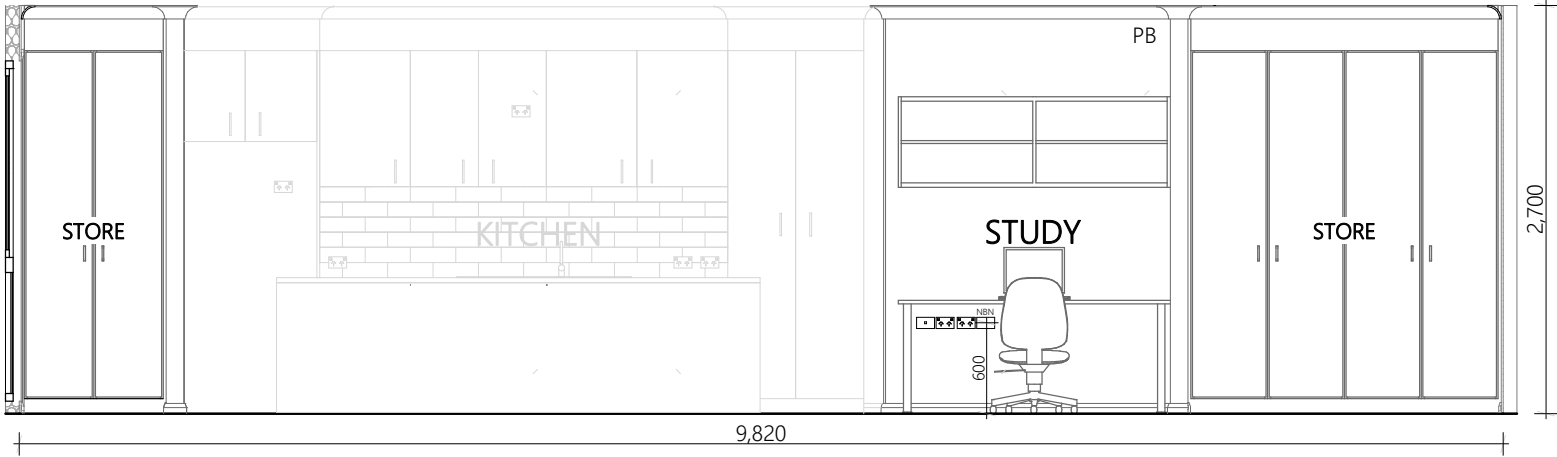
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Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: NSW ABORIGINAL HOUSING OFFICE
Drawing Title: INTERNAL ELEVATIONS - 1

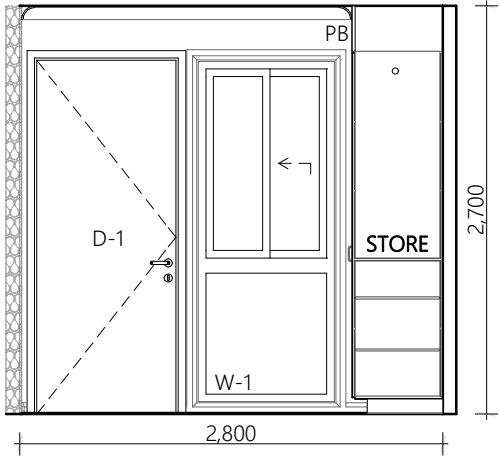
ISSUED FOR CONSTRUCTION

Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Project NO. 22311
Sheet ID A011



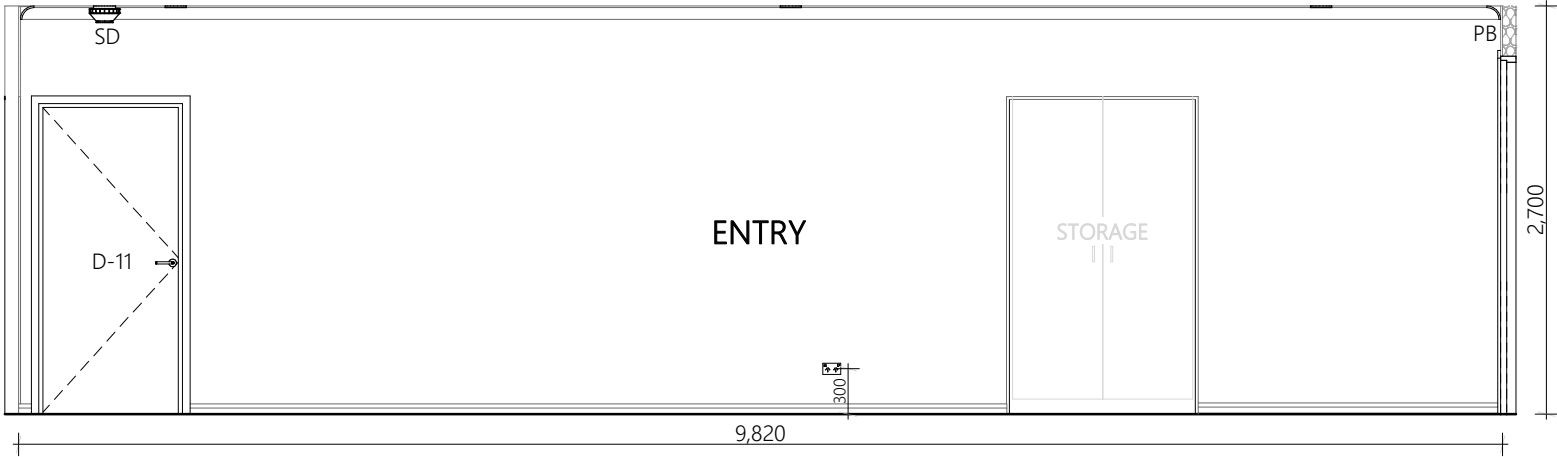
ENTRY - NE

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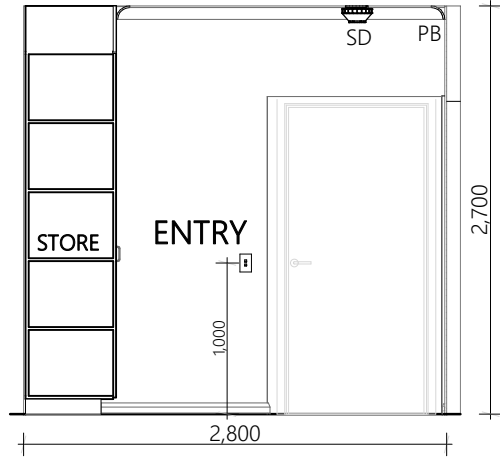
ENTRY - NW

1:50



ENTRY - SW

1:50



ENTRY - SE

1:50



GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.

CORNICE - 90mm cove cornice

SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board

LEGEND

ID	DESCRIPTION	NOTES
D01	DOOR	SOLID CORE ENTRY DOOR 2340 X 920 X 40 - STEEL JAMB
D08, D11	DOOR	SOLID CORE INTERNAL DOOR - 2040 X 920 X 35 - STEEL JAMB
PB	PLASTER BOARD	13mm PLASTERBOARD
SD	SMOKE DETECTOR	MAINS OPERATED WITH HUSH BUTTON
W01	WINDOWS	ALUMINIUM SLIDING WINDOW - NIGHT SKY

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS



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Project: 5 BEDROOM DWELLING

Site Address: 13 MENINDEE STREET MENINDEE NSW 2879

Client: NSW ABORIGINAL HOUSING OFFICE

Drawing Title: INTERNAL ELEVATIONS - 2

ISSUED FOR CONSTRUCTION

Revision: G

Revision Date: 26/10/2023

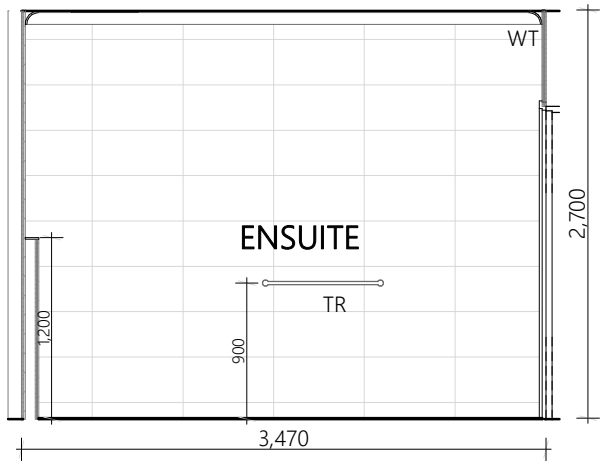
Drawn: D.Argus

Project NO.

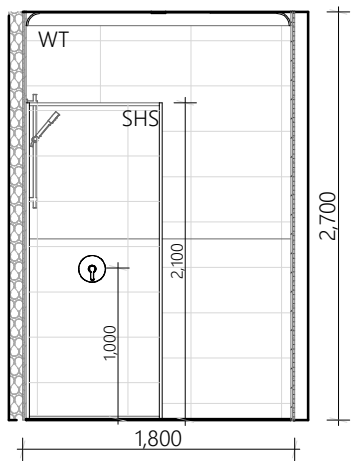
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Sheet ID

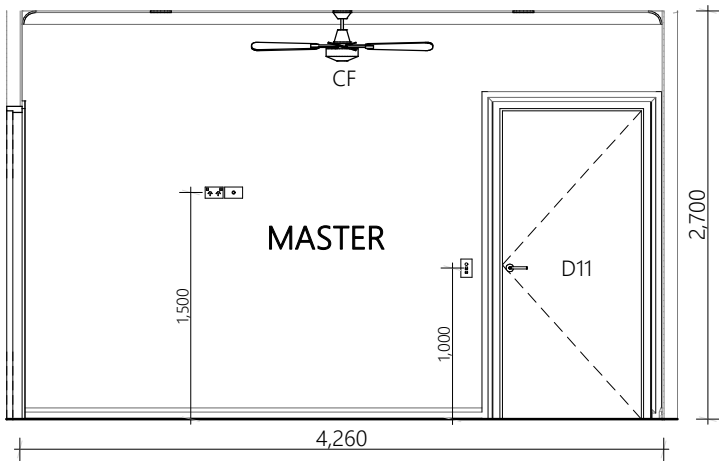
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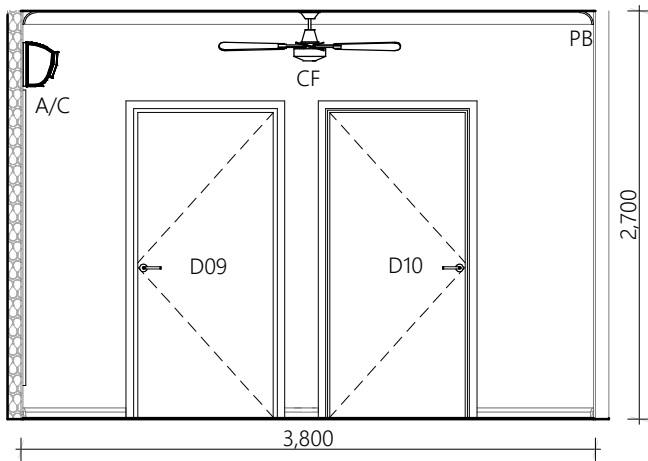
ENSUITE - NE
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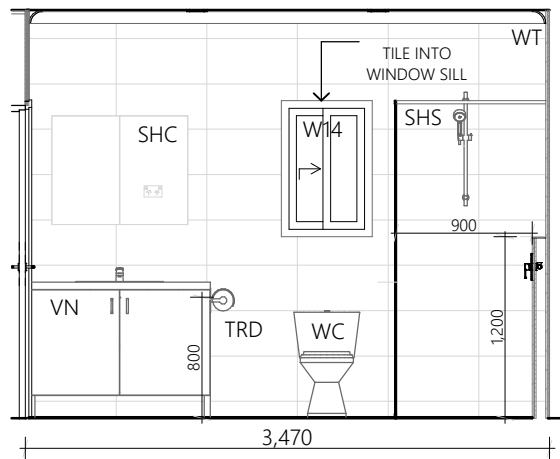
ENSUITE - NW
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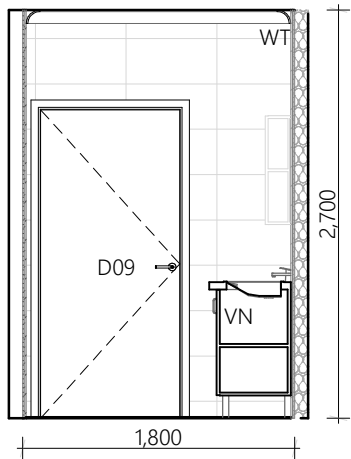
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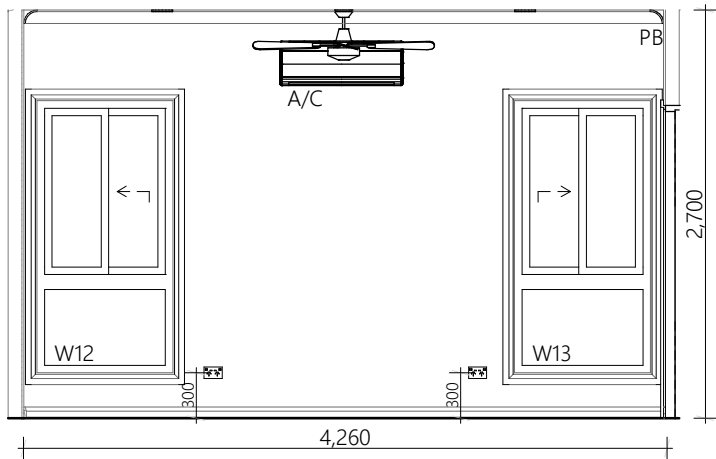
MASTER - NW
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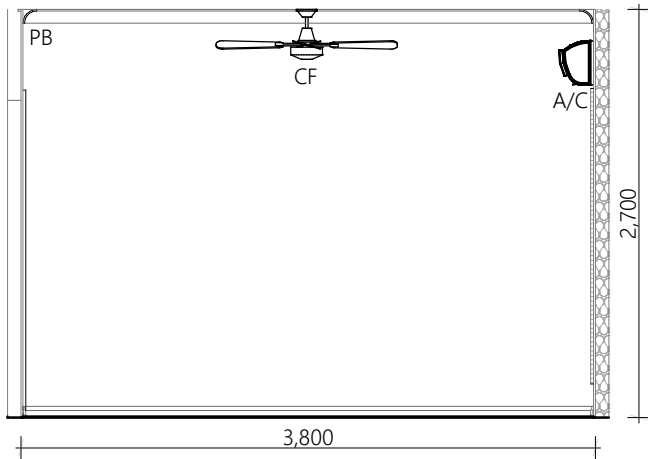
ENSUITE - SW
1:50



ENSUITE - SE
1:50



MASTER - SW
1:50



MASTER - SE
1:50

GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.
- 9mm ply with 6mm villaboard then tiled with 300 x 600 wall tiles

CORNICE - 90mm cove cornice

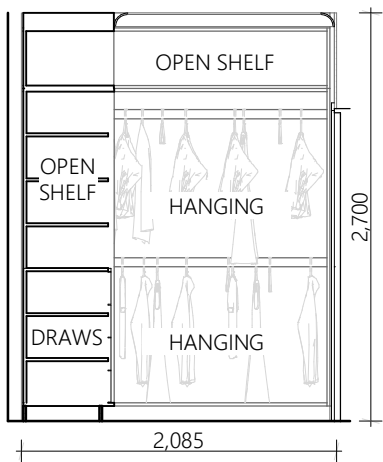
SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats
- skirting tile half floor tile with aluminium angle on top

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board
- Floor tiles 300 x 300 laid on dry bed with fall to floorwaist on cement fibre sheet

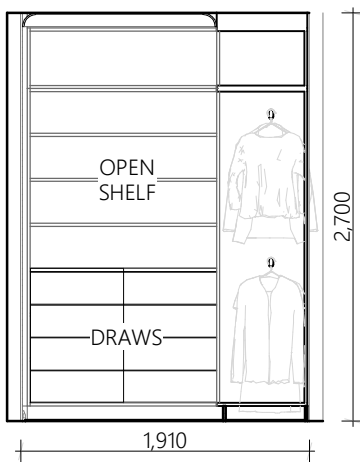
LEGEND

ID	DESCRIPTION	NOTES
A/C	SPLIT SYSTEM AIR CON	HITACHI 2.5 Kw
CF	CEILING FAN	CEILING FAN 140cm FAN
D09	DOOR	SOLID CORE INTERNAL- 2040 x 920 x 35 - STEEL JAMB LIFT OFF HINGE
D10, D11	HAND BASIN	SOLID CORE INTERNAL- 2040 x 920 x 35 - STEEL JAMB
PB	PLASTER BOARD	13mm PAINTED TERRACE WHITE LOW SHEEN WASHABLE
SHC	SHAVING CABINET	900mm 2 DOOR
SHS	SHOWER SCREEN	900mm SHOWER SCREEN
TR	TOWEL RAIL	800mm DOUBLE TOWEL RAIL
TRD	TOILET ROLL DISPENSER	CHROME TOILET ROLL HOLDER
VN	VANITY	PAINTED TERRACE WHITE LOW SHEEN WASHABLE
W12, W13	WINDOW	ALUMINIUM SLIDING WINDOW - NIGHT SKY
W14	WINDOW	TILE WINDOW REVEAL WITH ALUMINIUM EDGING
WC	WATER CLOSET	MERCIO TOI BACK TO WALL TOILET SUITE
WT	WALL TILE	600 X 300 CERAMIC WHITE

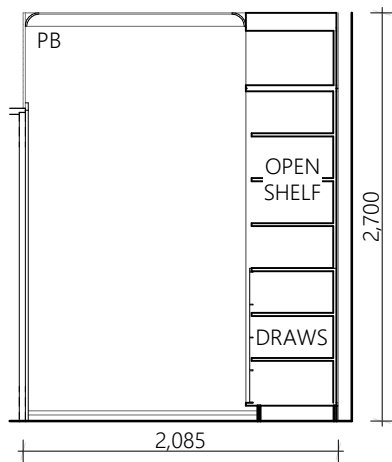
FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS



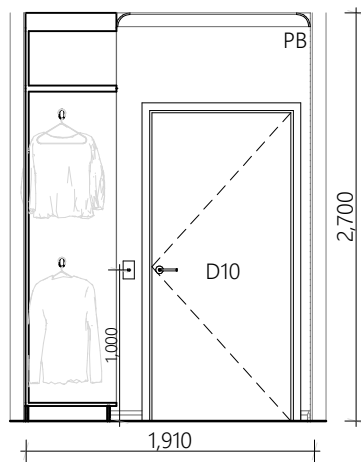
W.I.R. - NE
1:50



W.I.R. - NW
1:50



W.I.R. - SW
1:50



W.I.R. - SE
1:50



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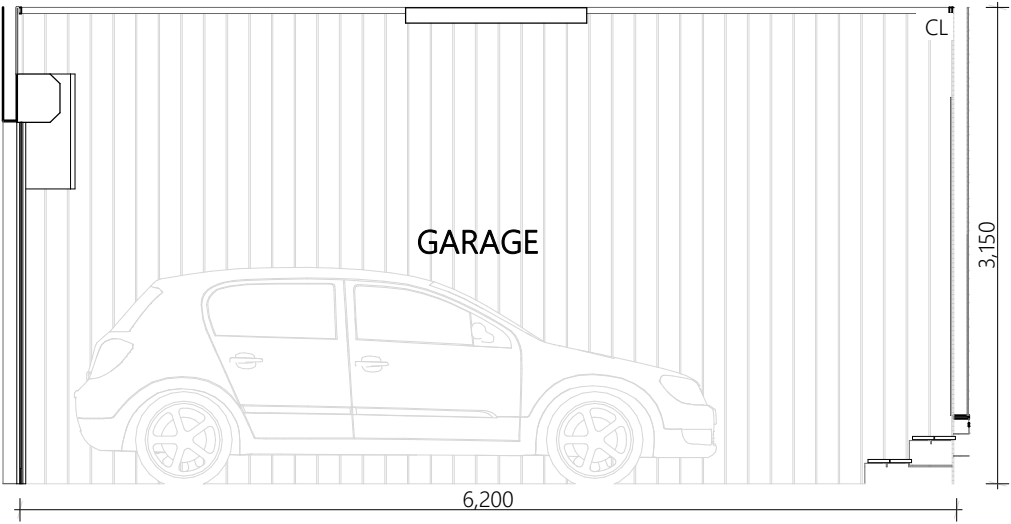
Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: NSW ABORIGINAL HOUSING OFFICE
Drawing Title: INTERNAL ELEVATIONS - 3

ISSUED FOR CONSTRUCTION

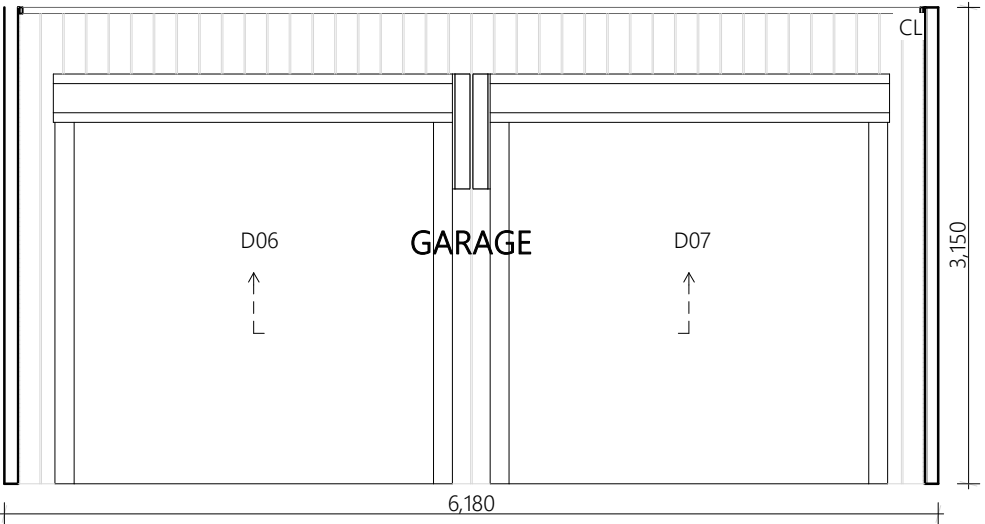
Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Project NO. 22311
Sheet ID A013


Central Darling Shire Council
D09/2023- PAN 377822
Modification Development Approval
Section 4.16 (1) (a) of the
Environmental Planning and Assessment Act 1979
Approved by Council 31/01/ 2024

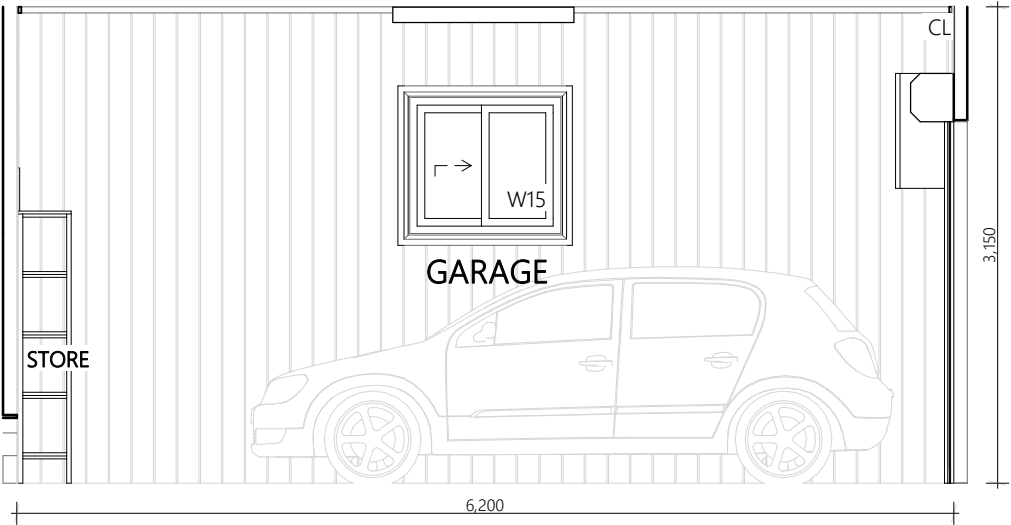
Nic Pasternatsky
Acting General Manager



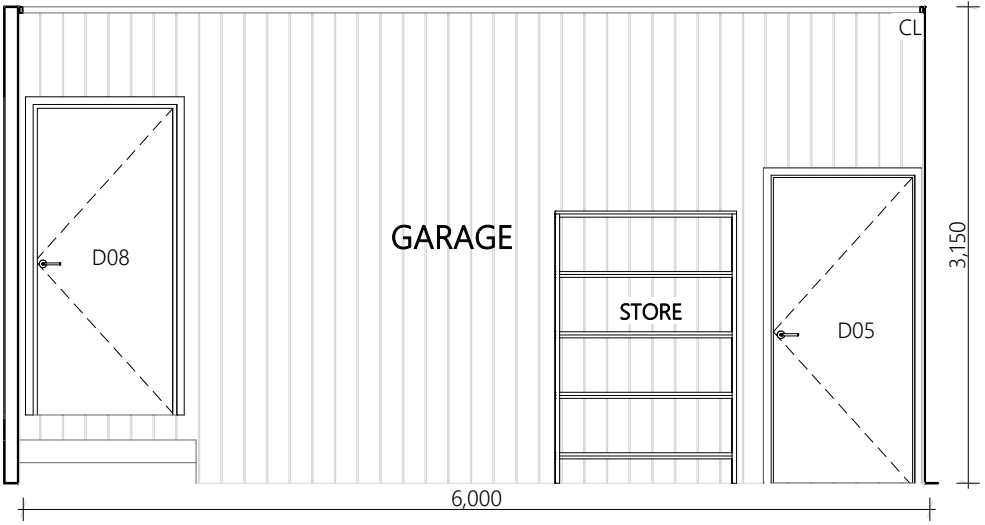
GARAGE - NE
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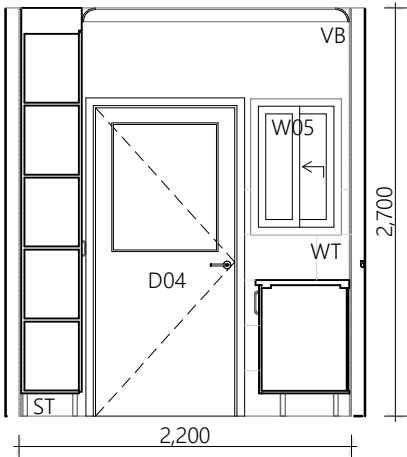
GARAGE - NW
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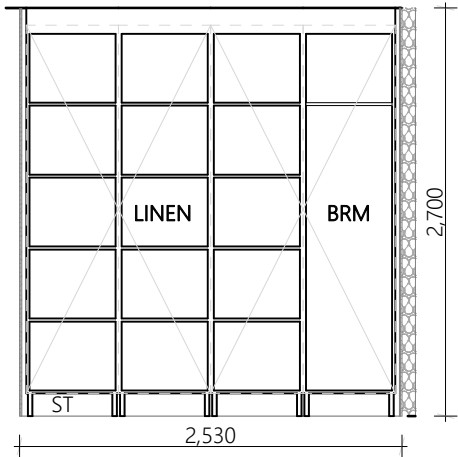
GARAGE - SW
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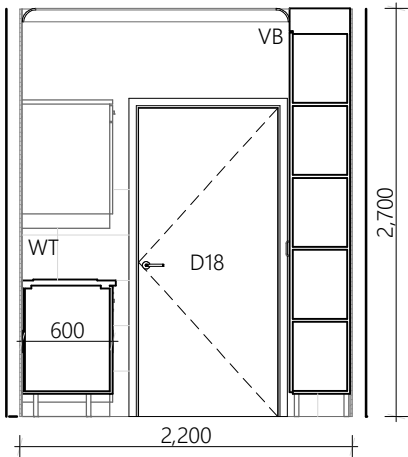
GARAGE - SE
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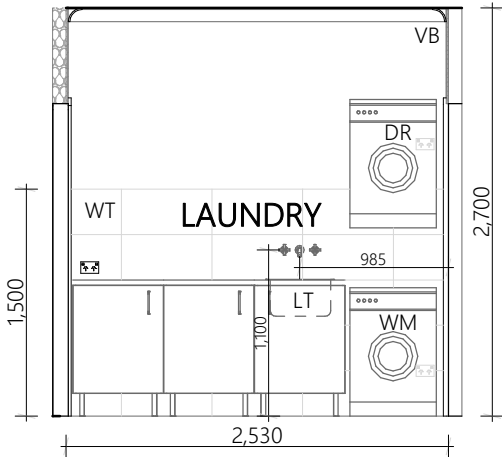
LAUNDRY - NE
1:50



LAUNDRY - NW
1:50



LAUNDRY - SW
1:50



LAUNDRY - SE
1:50

GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 9mm ply with 6mm villaboard then tiled with 300 x 600 wall tiles
- 9.5mm weathertex 150mm smooth

CORNICE - 90mm cove cornice

SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board
- Floor tiles 300 x 300 laid on dry bed with fall to floorwaist on cement fibre sheet

LEGEND		NOTES
ID	DESCRIPTION	
CL	CLADDING	WEATHERTEX 150mm SMOOTH PAINTED TRANQUIL RETREAT
D04, D05	DOOR	SOLID CORE EXTERNAL DOOR - 2040 X 920 X 40 - STEEL JAMB
D06, D07	DOOR	MOTORISED ROLLER DOORS
D08, D18	DOOR	SOLID CORE INTERNAL DOOR - 2040 X 920 X 35 - STEEL JAMB
ST	SKIRTING TILE	300 X 600 CERAMIC WHITE WITH ALUMINUM ANGLE TO TOP
VB	VILLABOARD	9mm PLY 6mm VILLABOARD PAINTED TRANQUIL RETREAT
W05, W15	WINDOWS	ALUMINIUM AWNING WINDOW - NIGHT SKY
WT	WALL TILE	300 X 600 CERAMIC WHITE WITH ALUMINUM ANGLE TO TOP

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS


MODULAR

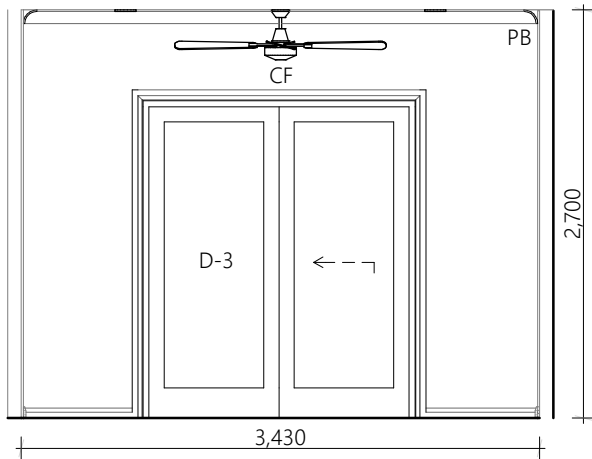
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Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: NSW ABORIGINAL HOUSING OFFICE
Drawing Title: INTERNAL ELEVATIONS - 4

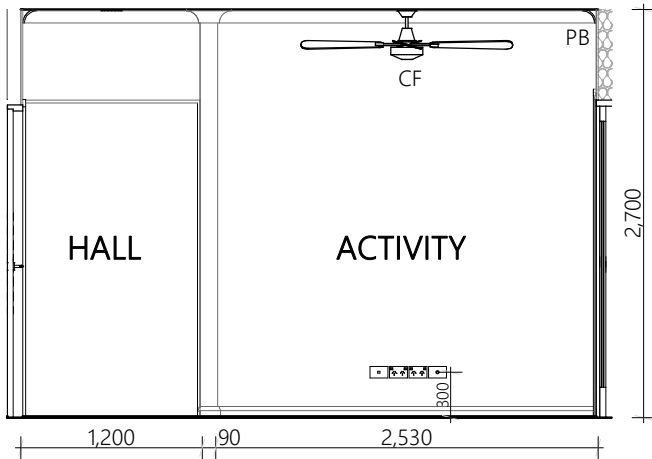
ISSUED FOR CONSTRUCTION

Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Project NO. 22311
Sheet ID A014



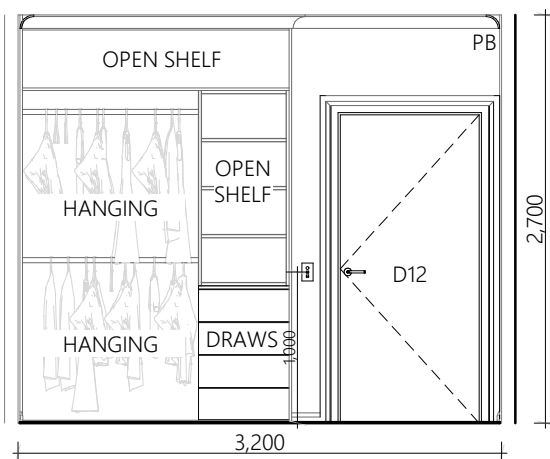
ACTIVITY - NE

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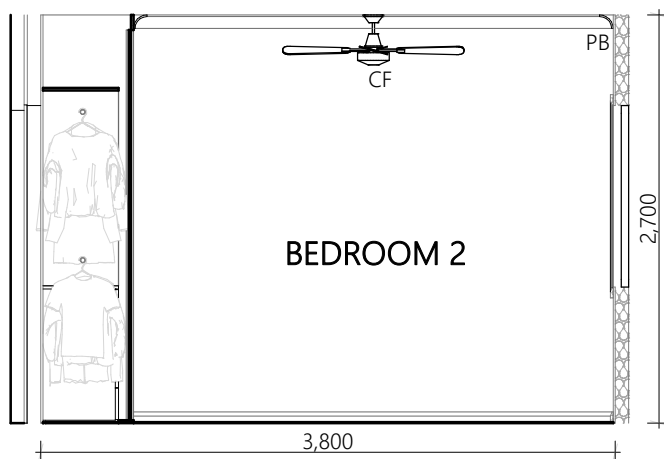
ACTIVITY - NW

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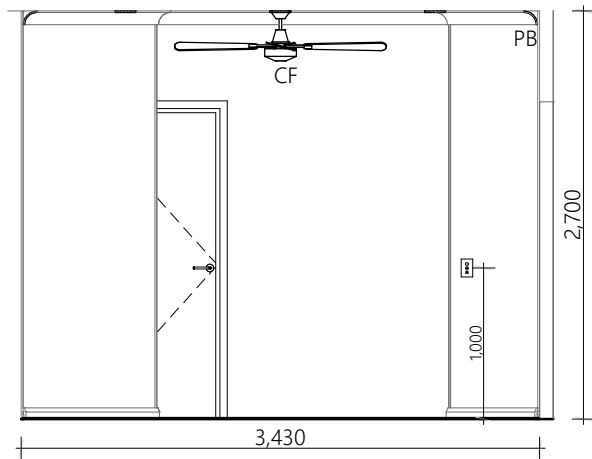
BED 2 - NE

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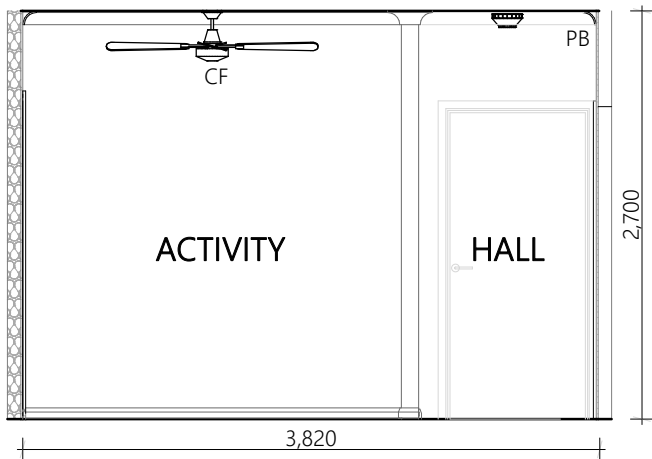
BED 2 - NW

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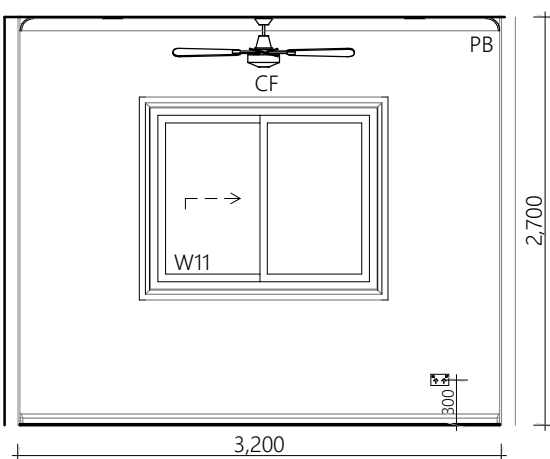
ACTIVITY - SW

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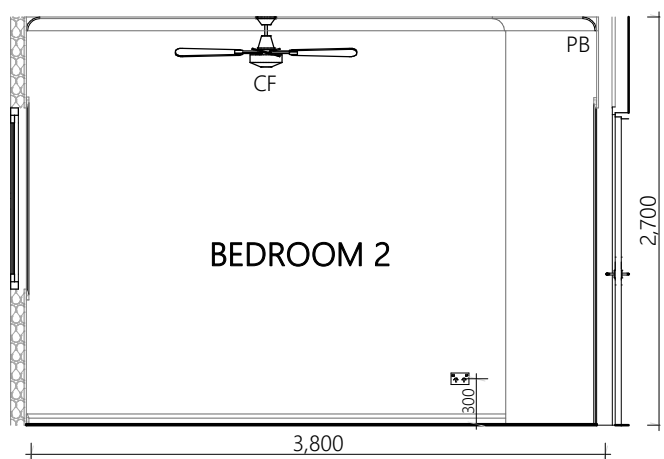
ACTIVITY - SE

1:50



BED 2 - SW

1:50



BED 2 - SE

1:50



GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.
- 9mm ply with 6mm villaboard then tiled with 300 x 600 wall tiles

CORNICE - 90mm cove cornice

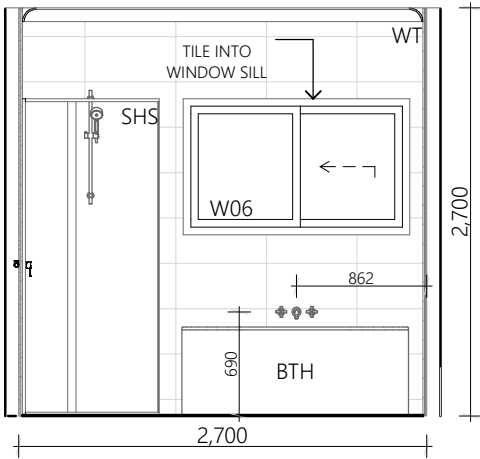
SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats
- skirting tile half floor tile with aluminium angle on top

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board
- Floor tiles 300 x 300 laid on dry bed with fall to floorwaist on cement fibre sheet

LEGEND

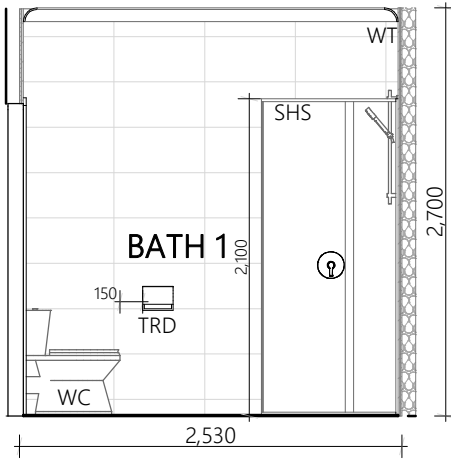
ID	DESCRIPTION	NOTES
BTH	BATH	MUSEN 1500mm BACK TO WALL
CF	CEILING FAN	CLIPSAL 120cm FAN
D03	DOOR	ALUMINIUM SLIDING - NIGHT SKY
D12	DOOR	SOLID CORE INTERNAL - 2040 X 920 X 35 - STEEL JAMB
D17	DOOR	SOLID CORE INTERNAL - 2040 X 920 X 35 - STEEL JAMB LIFT OFF HINGE
EF	EXHAUST FAN	VENTAIR AIRBUS 300
PB	PLASTER BOARD	13mm PAINTED TERRACE WHITE LOW SHEEN WASHABLE
SHC	SHAVING CABINET	900mm 2 DOOR
SHS	SHOWER SCREEN	900mm SHOWER SCREEN
TH	TOWEL HOOK	TOWEL HOOKS
TRD	TOILET ROLL HOLDER	CHROME TOILET ROLL HOLDER
VN	VANITY	CUSTOM
W06	WINDOWS	ALUMINIUM AWNING WINDOW - NIGHT SKY - TILED IN WINDOW SILL
W11	WINDOW	ALUMINIUM AWNING WINDOW - NIGHT SKY
WC	WATER CLOSET	MERCIO TOI BACK TO WALL TOILET SUITE
WT	WALL TILE	600 X 300 CERAMIC WHITE

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS



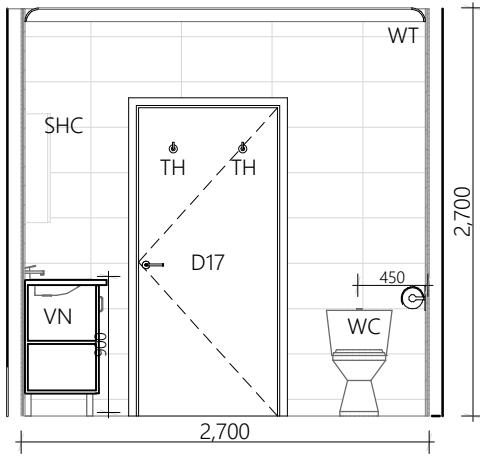
BATH - NE

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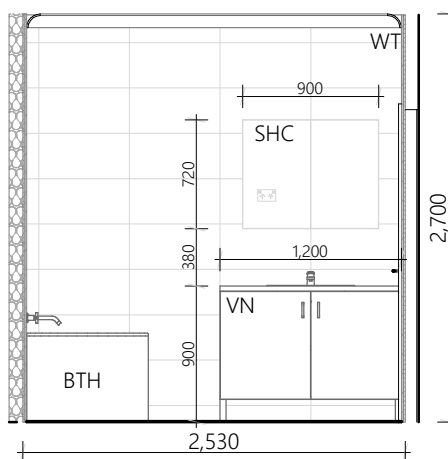
BATH - NW

1:50



BATH - SW

1:50



BATH - SE

1:50



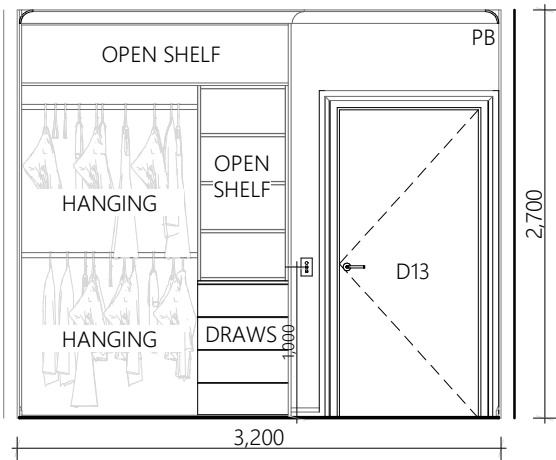
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Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: NSW ABORIGINAL HOUSING OFFICE
Drawing Title: INTERNAL ELEVATIONS - 5

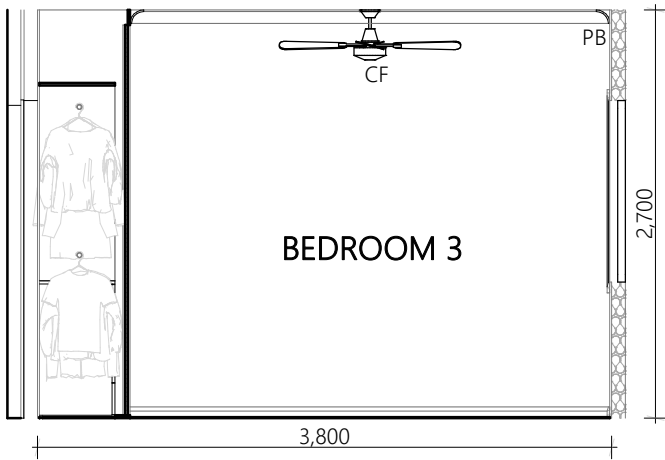
ISSUED FOR CONSTRUCTION

Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Project NO. 22311
Sheet ID A015



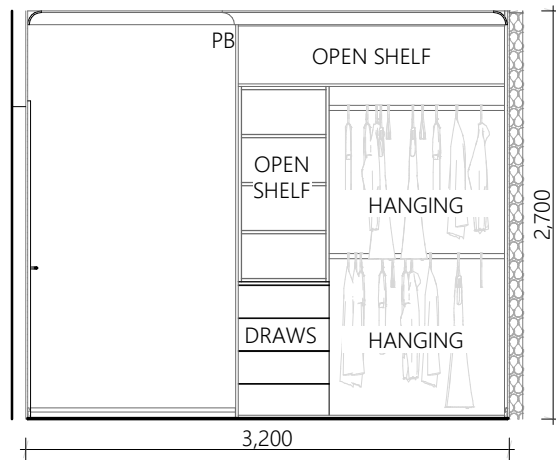
BED 3 - NE

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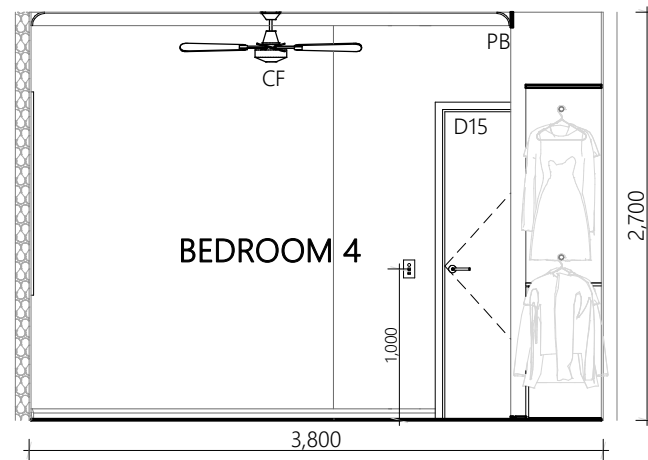
BED 3 - NW

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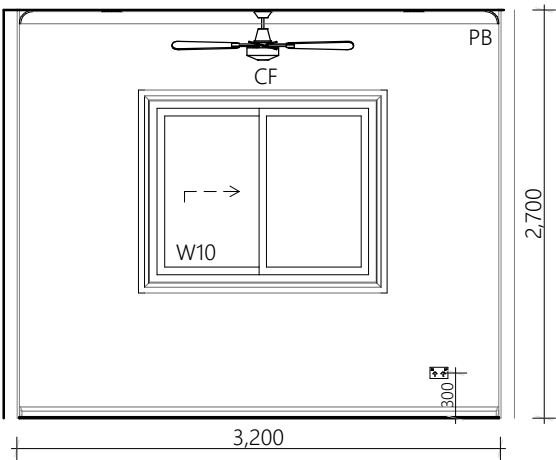
BED 4 - NE

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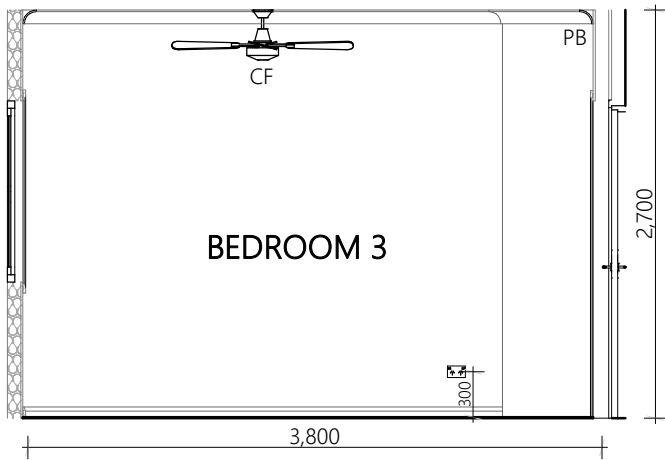
BED 4 - NW

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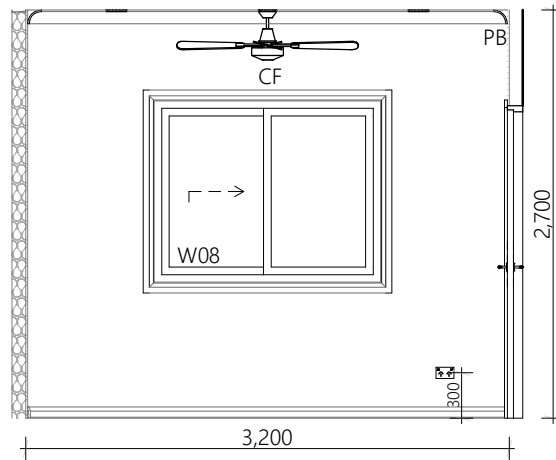
BED 3 - SW

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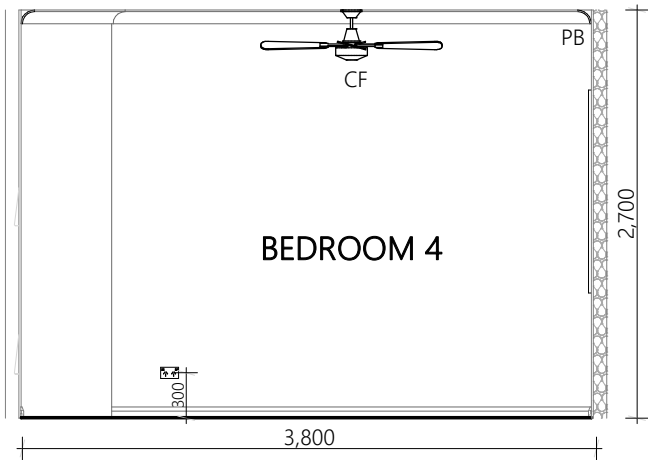
BED 3 - SE

1:50



BED 4 - SW

1:50



BED 4 - SE

1:50

GENERAL NOTES

CEILING BATTENS - 22mm battens

CEILING SHEETS - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.

WALL CLADDING - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.
- 9mm ply with 6mm villaboard then tiled with 300 x 600 wall tiles

CORNICE - 90mm cove cornice

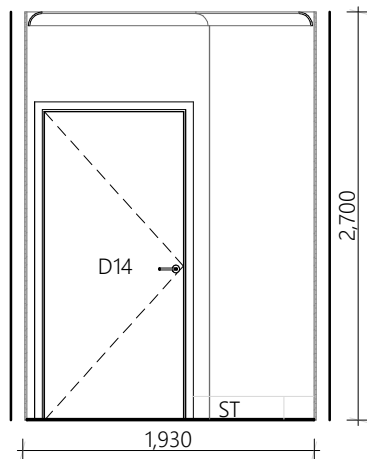
SKIRTING & ARCHITRAVE - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats
- skirting tile half floor tile with aluminium angle on top

FLOORING - Vinyl planks laid to manufacturers specification on 22mm ply board
- Floor tiles 300 x 300 laid on dry bed with fall to floorwaist on cement fibre sheet

LEGEND

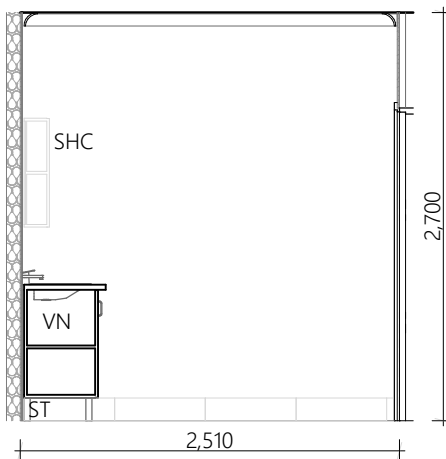
ID	DESCRIPTION	NOTES
CF	CEILING FAN	CLIPSAL 120cm FAN
D13, D15	DOOR	SOLID CORE INTERNAL - 2040 X 920 X 35 - STEEL JAMB
D14	DOOR	SOLID CORE INTERNAL - 2040 x 920 x 35 - STEEL JAMB LIFT OFF HINGE
EF	EXHAUST FAN	VENTAIR AIRBUS 300
PB	PLASTER BOARD	13mm PAINTED TERRACE WHITE LOW SHEEN WASHABLE
SHC	SHAVING CABINET	900mm 2 DOOR
SHS	SHOWER SCREEN	900mm SHOWER SCREEN
TR	TOWEL RAIL	800mm DOUBLE TOWEL RAIL
TRD	TOILET ROLL HOLDER	CHROME TOILET ROLL HOLDER
VN	VANITY	CUSTOM
W08, W10	WINDOWS	ALUMINIUM AWNING WINDOW - NIGHT SKY
W09	WINDOW	ALUMINIUM AWNING WINDOW - NIGHT SKY - TILED IN WINDOW SILL
WC	WATER CLOSET	MERCIO TOI BACK TO WALL TOILET SUITE
WT	WALL TILE	600 X 300 CERAMIC WHITE

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS



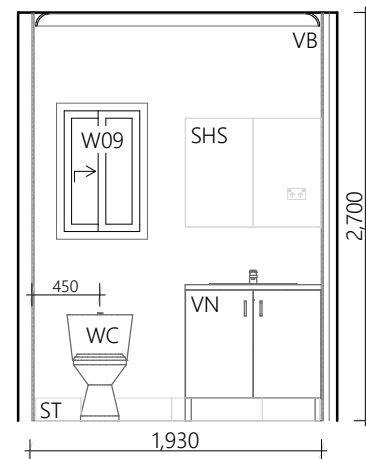
POWDER - NE

1:50



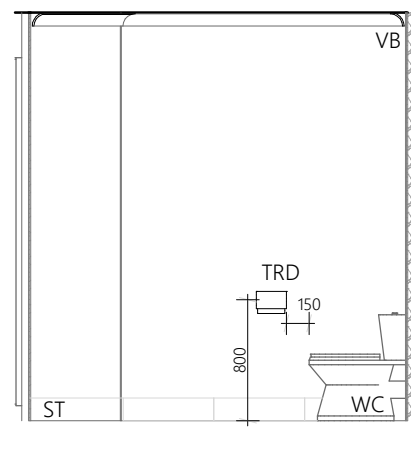
POWDER - NW

1:50



POWDER - SW

1:50



POWDER - SE

1:50



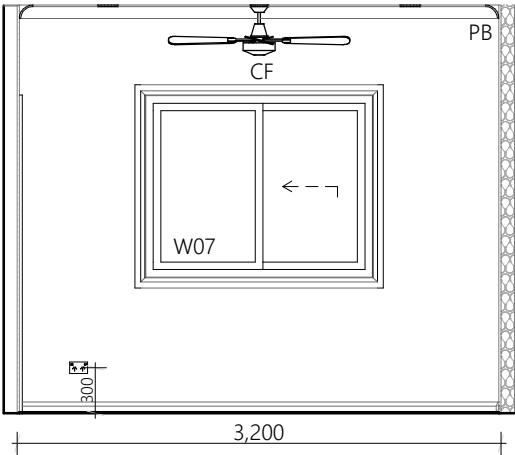
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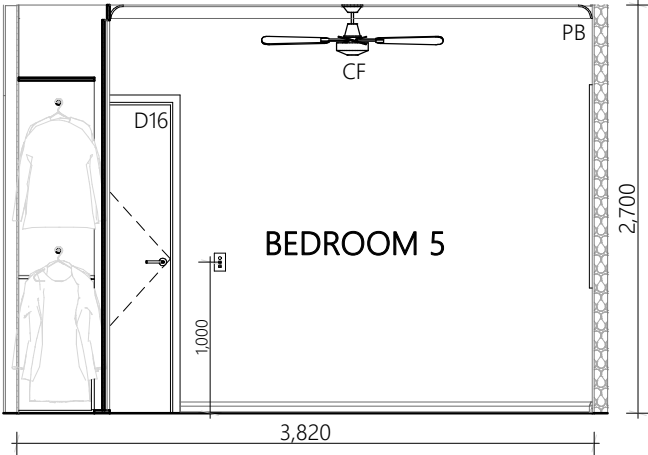
Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: ~~NSW~~ ABORIGINAL HOUSING OFFICE
Drawing Title: INTERNAL ELEVATIONS - 6

ISSUED FOR CONSTRUCTION

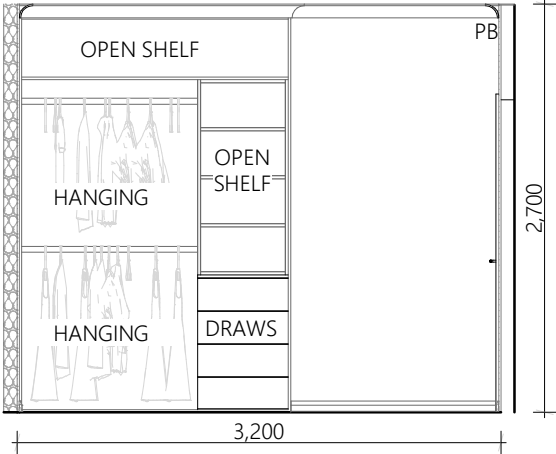
Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Project NO. 22311
Sheet ID A016



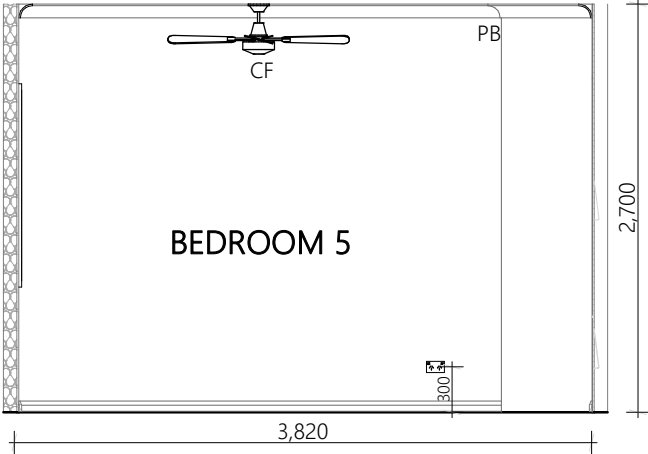
BED 5 - NORTH
1:50



BED 5 - EAST
1:50



BED 5 - SOUTH
1:50



BED 5 - WEST
1:50

N

W

E

S

Central Darling Shire Council

D09/2023- PAN 377822

Modification Development Approval

Section 4.16 (1) (a) of the

Environmental Planning and Assessment Act 1979

Approved by Council 31/01/ 2024

Nic Pasternatsky

Acting General Manager

GENERAL NOTES

- CEILING BATTENS** - 22mm battens
- CEILING SHEETS** - 10mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats ceiling white.
- WALL CLADDING** - 13mm plasterboard taped 2 coats and finishing compound then sanded, painted 1 coat undercoat and min 2 coats terrace white low sheen washable.
- CORNICE** - 90mm cove cornice
- SKIRTING & ARCHITRAVE** - Half splayed 66 x 18 mm painted in Vivid white gloss min 3 coats
- FLOORING** - Vinyl planks laid to manufacturers specification on 22mm ply board

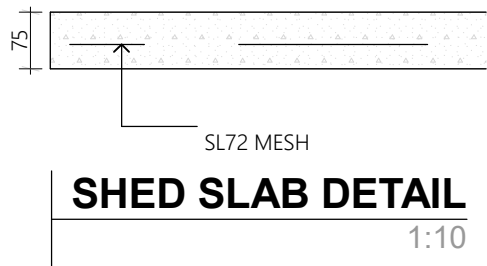
LEGEND

ID	DESCRIPTION	NOTES
CF	CEILING FAN	CLIPSAL 120cm FAN
D16	DOOR	SOLID CORE INTERNAL - 2040 X 920 X 35 - STEEL JAMB
PB	PLASTER BOARD	13mm PAINTED TERRACE WHITE LOW SHEEN WASHABLE
W07	WINDOWS	ALUMINIUM AWNING WINDOW - NIGHT SKY

FINISHES, FIXTURES AND EQUIPMENT SCHEDULE TAKES PRECEDENCE OVER THESE PLANS

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	Site Address:	13 MENINDEE STREET MENINDEE NSW 2879	
	Client	NSW ABORIGINAL HOUSING OFFICE	
	Drawing Title:	INTERNAL ELEVATIONS - 7	Project NO. 22311 Sheet ID A017

ISSUED FOR CONSTRUCTION



MENINDEE STREET

SITE SET OUT

GENERAL NOTES

- ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE
- USE A CERTIFIED SURVEYOUR FOR BUILDING FOOTPRINT
- FINAL BUILDING POSTION TO BE SIGNED OFF BY SURVEYOUR
- CONFIRM HEIGHT OF RB1 TO ACHEIVE 400mm CLEARANCE FOR TERMITE INSPECTION
- REFER TO ENGINEER DRAWINGS TO CONFIRM FOOTING DETAILS
- USE NOTED DIMENSIONS OVER SCALE



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Project: 5 BEDROOM DWELLING
Site Address: 13 MENINDEE STREET MENINDEE NSW 2879
Client: NSW ABORIGINAL HOUSING OFFICE
Drawing Title: SITE SET OUT

Revision: G
Revision Date: 26/10/2023
Drawn: D.Argus
Sheet ID: A018

ISSUED FOR CONSTRUCTION

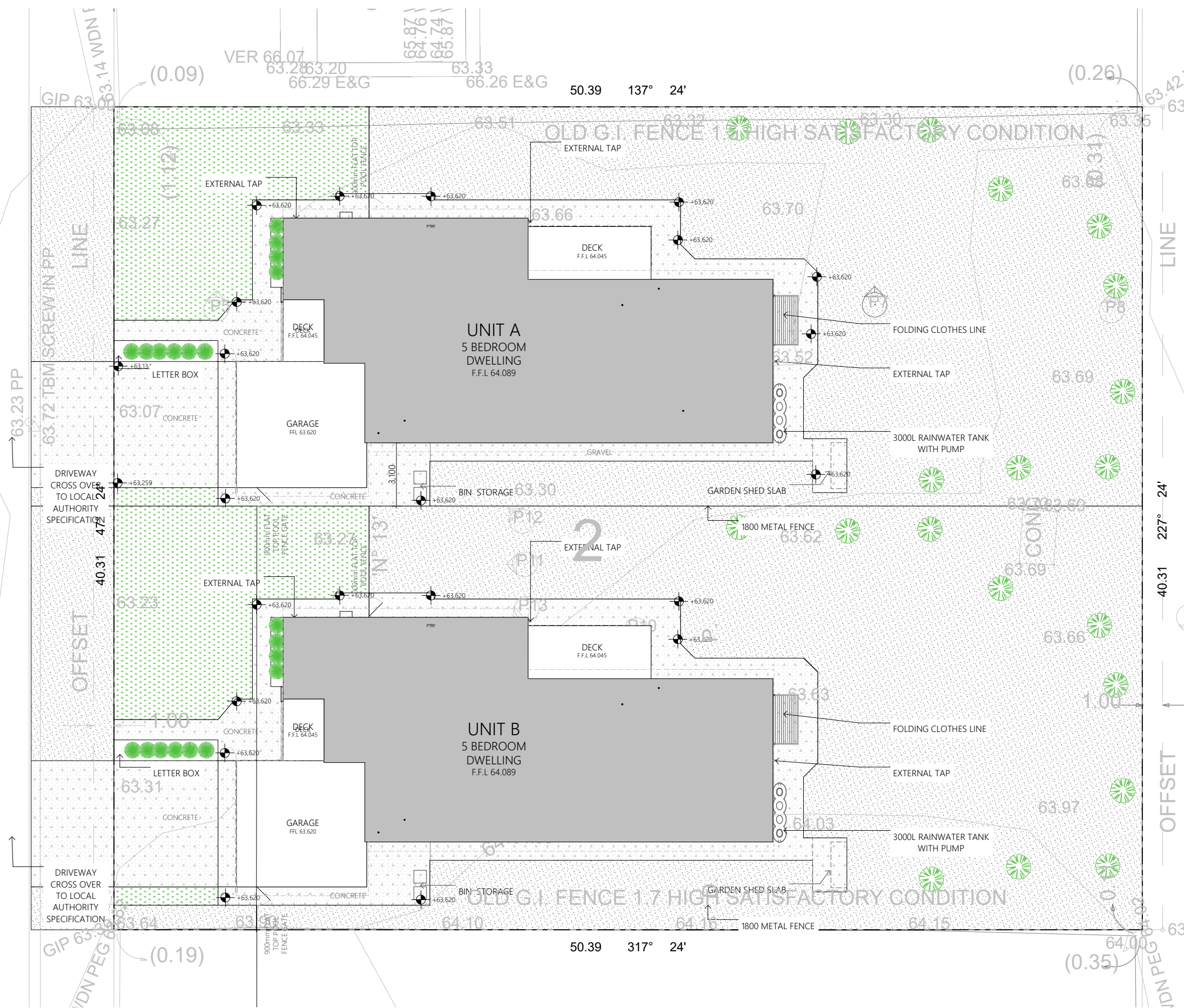
MENINDEE STREET

2.77

2.80

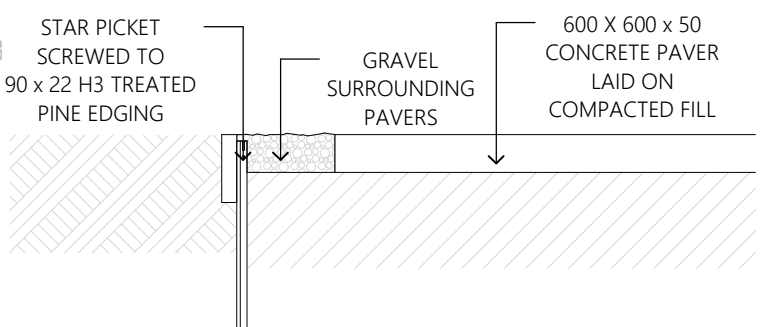
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2.93



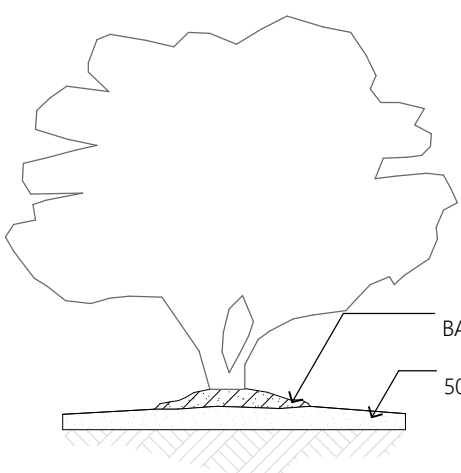
LANDSCAPE PLAN

1:200



GRAVEL PATH DETAIL

1:10



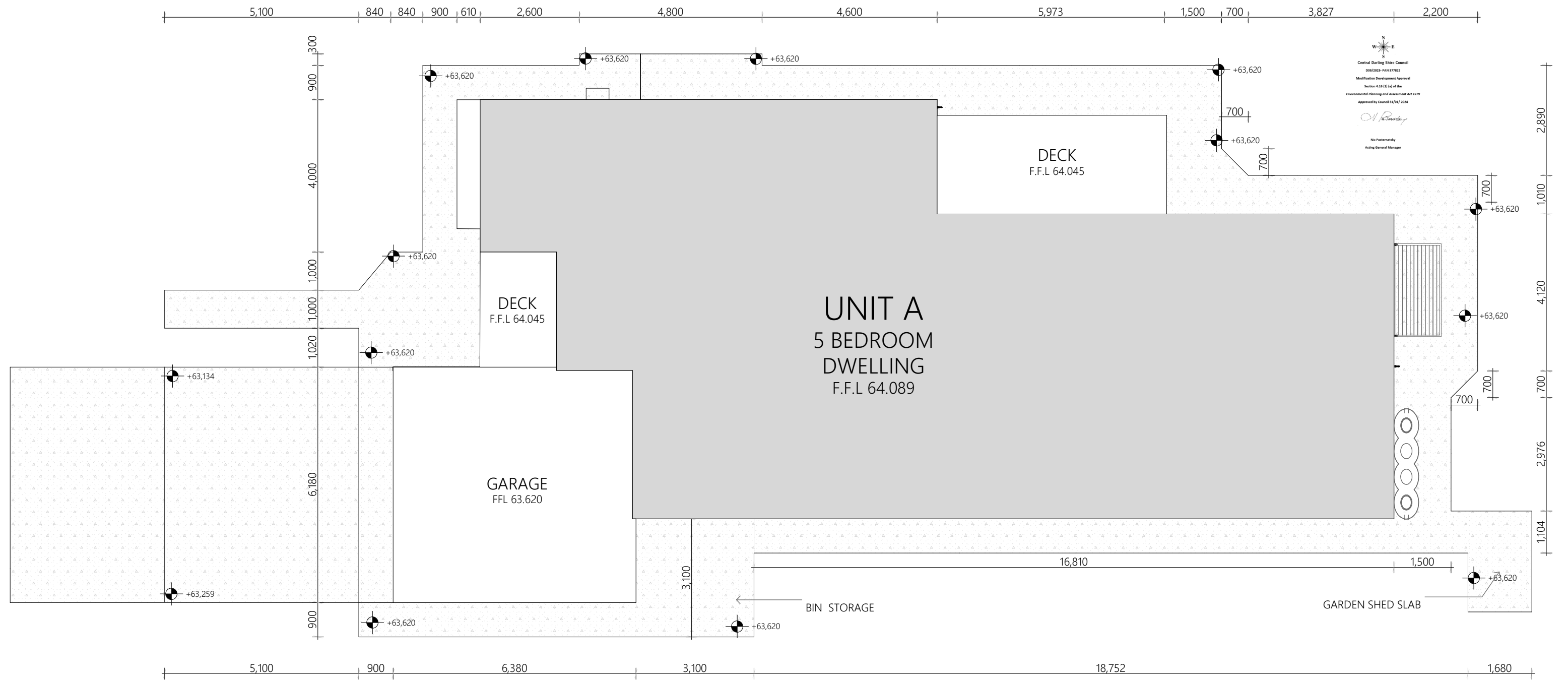
PLANT DETAIL

1:20

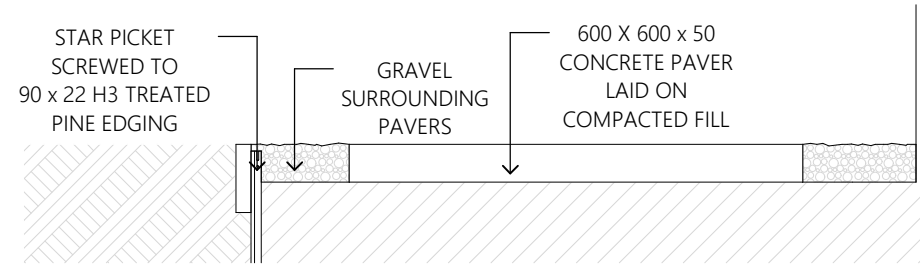
Central Darling Shire Council
DD9/2023- PAN 977822
Modification Development Approval
Section 4.16 (1) (a) of the
Environmental Planning and Assessment Act 1979
Approved by Council 31/01/2024
Nic Pasternatsky
Acting General Manager

LEGEND	
	LAWN
	CRUSHER DUST WITH WEED MATTING UNDER
	CONCRETE
	LOMANDRA LONGIFOLIA
	ADENANTHOS SERICEA - Silver Steak

ISSUED FOR CONSTRUCTION



PATH LAYOUT
1:100



GRAVEL PATH DETAIL
1:10

UNIT A	WINDOW SCHEDULE																		
	ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14	W15			
	WIDTH	900	1,800	900	900	600	1,500	1,500	1,500	600	1,500	1,500	900	900	600	1,000			
	HEIGHT	2,250	1,800	1,800	1,800	900	900	1,200	1,200	900	1,200	1,200	1,800	1,800	900	900			
	SILL HEIGHT	83	300	300	300	1,200	1,200	900	900	1,200	900	900	300	300	1,200	1,200			
	HEAD HEIGHT	2,333	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100			
	WINDOW TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING			
	REVEL SIZE	103	103	103	103	103	103	103	103	103	103	103	103	103	103	103			
	ORIENTATION	R	R	L	L	R	R	R	L	L	L	L	R	L	L	L			
	NOTES	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - NIGHT SKY IN COLOUR - CLEAR GLASS - MESH FLY SCREEN			
	DOOR SCHEDULE																		
	DOOR NO	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10	D11	D12	D13	D14	D15	D16	D17	D18
	LEAF DIMENSIONS	920×2,340	1,720×2,060	1,720×2,060	920×2,040	920×2,040	2,380×2,390	2,380×2,390	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040
	ORIENTATION	L	L	R	L	R			L	L	R	R	R	R	L	R	L	R	R
	HANDLE	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	SLIDING DOOR LOCK KEYED TO MASTER SYSTEM	SLIDING DOOR LOCK KEYED TO MASTER SYSTEM	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	AUTOMATIC ROLLER	AUTOMATIC ROLLER	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME
	NOTES	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND WESTERN MYALL EXTERNAL- STEEL JAMB - FLYSCREEN MESH	ALUMINIUM FRAMED SLIDING DOOR - NIGHT SKY IN COLOUR - FLYSCREEN MESH	ALUMINIUM FRAMED SLIDING DOOR - NIGHT SKY IN COLOUR - FLYSCREEN MESH	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND SHALE GREY EXTERNAL- STEEL JAMB - FLYSCREEN MESH	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND SHALE GREY EXTERNAL- STEEL JAMB - FLYSCREEN MESH	COLOURBOND - NIGHT SKY IN COLOUR	COLOURBOND - NIGHT SKY IN COLOUR	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB

UNIT B

WINDOW SCHEDULE																		
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14	W15	Central Darling Shire Council 08/05/2024 Page 17/18/21 Modification Development Approval Section 6.10 (3) of the Environmental Planning and Assessment Act 1979 Approved by Council 15/01/2024 Mr Petermansky Acting General Manager		
WIDTH	900	1,800	900	900	600	1,500	1,500	1,500	600	1,500	1,500	900	900	600	1,000			
HEIGHT	2,250	1,800	1,800	1,800	900	900	1,200	1,200	900	1,200	1,200	1,800	1,800	900	900			
SILL HEIGHT	83	300	300	300	1,200	1,200	900	900	1,200	900	900	300	300	1,200	1,200			
HEAD HEIGHT	2,333	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100			
WINDOW TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING			
REVEL SIZE	103	103	103	103	103	103	103	103	103	103	103	103	103	103	103			
ORIENTATION	R	R	L	L	R	R	R	L	L	L	L	R	L	L	L			
NOTES	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - OBSCURE GLASS - MESH FLY SCREEN	ALUMINIUM FRAME - SURFMIST IN COLOUR - CLEAR GLASS - MESH FLY SCREEN			
DOOR SCHEDULE																		
DOOR NO	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10	D11	D12	D13	D14	D15	D16	D17	D18
LEAF DIMENSIONS	920×2,340	1,720×2,060	1,720×2,060	920×2,040	920×2,040	2,380×2,390	2,380×2,390	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040	920×2,040
ORIENTATION	L	L	R	L	R			L	L	R	R	R	R	L	R	L	R	R
HANDLE	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	SLIDING DOOR LOCK KEYED TO MASTER SYSTEM	SLIDING DOOR LOCK KEYED TO MASTER SYSTEM	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	DOUBLE CYLINDER AUTOMATIC DEAD LATCH AND LEVER SET - SEPERATE PASSENGER SETWITH COLOUR CODED LOCK ALERT	AUTOMATIC ROLLER	AUTOMATIC ROLLER	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PRIVACY LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME	PASSENGER LEVER SET - FIRE RATED 60mm BACK SET - SATIN CHROME
NOTES	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND LAKESIDE EXTERNAL - STEEL JAMB - FLY SCREEN MESH	ALUMINIUM FRAMED SLIDING DOOR - SURFMIST IN COLOUR - FLY SCREEN MESH	ALUMINIUM FRAMED SLIDING DOOR - SURFMIST IN COLOUR - FLY SCREEN MESH	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND SURFMIST EXTERNAL - STEEL JAMB - FLY SCREEN MESH	SOLID CORE 40mm DOOR - PAINTED VIVID WHITE INTERNAL AND SURFMIST EXTERNAL - STEEL JAMB - FLY SCREEN MESH	COLORBOND SHALE GREY IN COLOUR	COLORBOND SHALE GREY IN COLOUR	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB	SOLID CORE 35mm DOOR - PAINTED VIVID WHITE INTERNAL AND EXTERNAL- STEEL JAMB



NOTE: ALL ROLLER BLINDS TO BE SUNLIGHT VIBE. COLOUR ICE



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	Site Address:	13 MENINDEE STREET MENINDEE NSW 2879		Revision Date:	26/10/2023
	Client	NSW ABORIGINAL HOUSING OFFICE		Drawn:	D.Argus
	Drawing Title:	DOOR AND WINDOW SCHEDULE		Sheet ID	A022

ISSUED FOR CONSTRUCTION