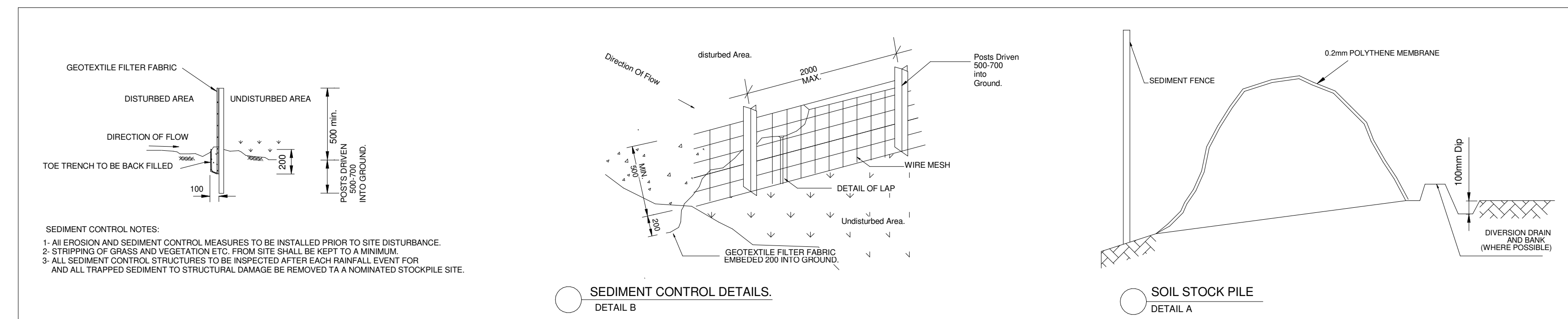
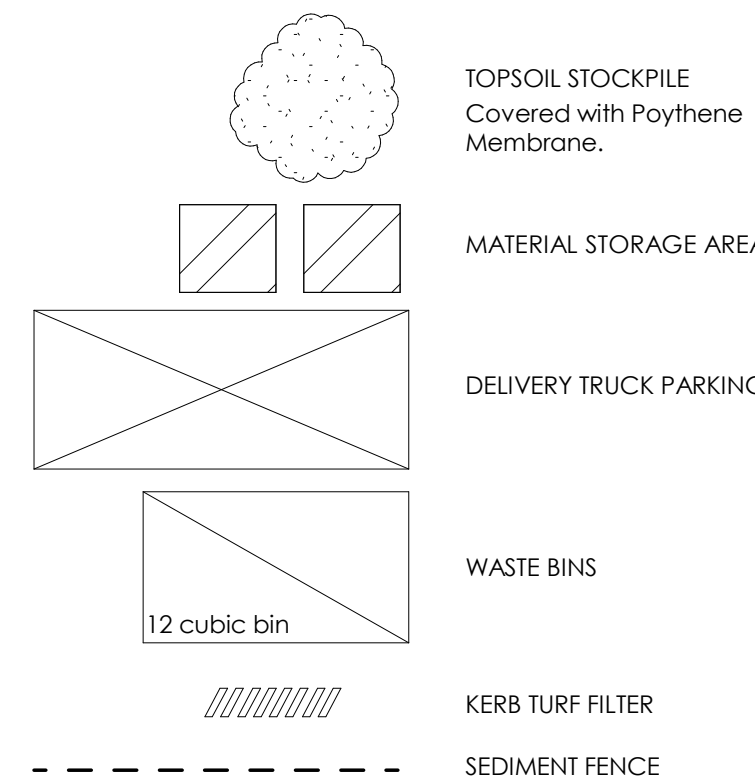


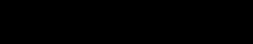
[illegible]

	Certificate No. #HR-6DQ83D-01 Scan QR code to follow website link for rating details.	
	Assessor Name Cheryl Daniels	
	Accreditation No. 589436/2009	
	Property Address 1071 E. Puyallup Street Vancouver, WA 98684	
http://www.hisco-soft.com.au/au/HR/HR-6DQ83D-01		
	Certificate No. #HR-GJF8D-W-01 Scan QR code to follow website link for rating details.	
	Assessor Name Cheryl Daniels	
	Accreditation No. 589436/2009	
	Property Address 1071 E. Puyallup Street Vancouver, WA 98684	
http://www.hisco-soft.com.au/au/HR/HR-GJF8D-W-01		
	Certificate No. #HR-OK2MIE-01 Scan QR code to follow website link for rating details.	
	Assessor Name Cheryl Daniels	
	Accreditation No. 589436/2009	
	Property Address 1071 E. Puyallup Street, Vancouver WA 98684	
http://www.hisco-soft.com.au/au/HR/HR-OK2MIE-01		

1. ALL RUN OFF AND SEDIMENT CONTROL STRUCTURES WILL BE MAINTAINED IN A FUNCTIONAL CONDITION
2. REVEGETATION WORKS - HAY MULCHING MUST USE STRAW THAT IS GUARANTEED WEED FREE AND A "DRYLAND" SEED MIXTURE IN ALL APPLICATIONS
3. AREAS NOT USED FOR BUILDING SHOULD BE RETAINED WITH VEGETATION
4. REVEGETATION ON RETAIN CUT AND FILLS AS SOON AS POSSIBLE DURING CONSTRUCTION



PRUELLA STREET


 PLANS BY...
perras design group
 Suite 6, 92 Bathurst Street,
 Liverpool NSW 2170
 Office - (02) 8005 1000
www.perrasdesigngroup.com.au
 PETER PERRAS - DIRECTOR - Mobile 0414 507 259
 Registered Design Practitioner Body Corporate DEP0002989
 Registered Design Practitioner DEP0001985 (All Classes)
 Accredited BDA Aust 6639
 M. BDA# 7488-21

 ACCREDITED BUILDING DESIGNER	JOB DESCRIPTION	DRAWING TITLE
	PROPOSED ATTACHED DUAL OCCUPANCY	DEMOLITION PLAN
	AT	CLIENT DETAILS
	6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO

DO NOT SCALE THE DRAWINGS, READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.

- COPYRIGHT -

THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD.
ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWN	M,N	ISSUE	AMENDMENT	BY	DATE
DATE	OCT.25	A	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.P				
SCALE	1:100 A0				
JOB NUMBER	2510				
NUMBER IN SET	1				
ISSUE	A				

Design Matters
Building Envelope Systems

BUILDING ELEMENT

SUMMARY TABLE

Insulation & Colour Details

Roof colour - minimum: R-15 Sloped
Ceiling under roof - R-30
External walls - R-12.5 - angles/flat
Girth under party wall: R-5
Internal walls: garage, bathroom, laundry, etc. - R-2.5
Slab on ground
Thermal Bounding to Endusers and Living Areas

Window Details	WERS code	WERS	WERS
		U-Val	U-Val
W1, W1 - Sliding window	W1-001-001-01	0.4	0.58
W1, W1 - Sliding window	W1-001-002-01	0.7	0.70
W1, W4, W5 - Sliding window	W1-001-002-02	0.4	0.49
W2 - Sliding door	W2-001-002-01	0.7	0.70
W2 - Sliding door	W2-001-002-02	0.4	0.49
Roofing system			
Unavailable to be copied			
Exhaust fans - checked			
An infiltration study to external resistance and garage internal doors			
Additional details - refer to WERS011 and WERS012			

Certificate No. #HR-6DQ83D-01
Scan QR code or follow website link for rating details.

Assessor name	Cengiz Ceylan
Accreditation No.	049V24/2020
Property Address	LOT 1, 6 Prusilla Street Merimbud, 1107, 2079



Certificate No. #HR-0K2MIE-01
Scan QR code or follow website link for rating details.

Assessor name: Ganga Gopala
Accreditation No.: 0419/04/2200
Property Address: 6 Phulela Street, Manindoo,
NGW, 2078



PC

➡ NOISE

ACCESS



NOTES

-

 $\frac{1}{2}$

11

Public bin

A small line graph with a single line sloping downwards from left to right, indicating a negative correlation.

WASTE BINS

.....

00

KERB TURF FILTER

CALCULATION TABLE:

SITE AREA APPROXIMATE = 1607.228SQM

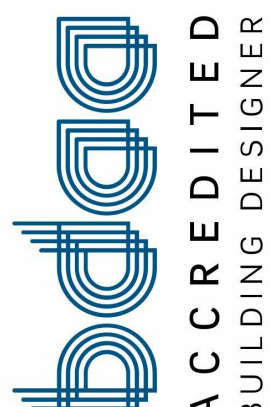
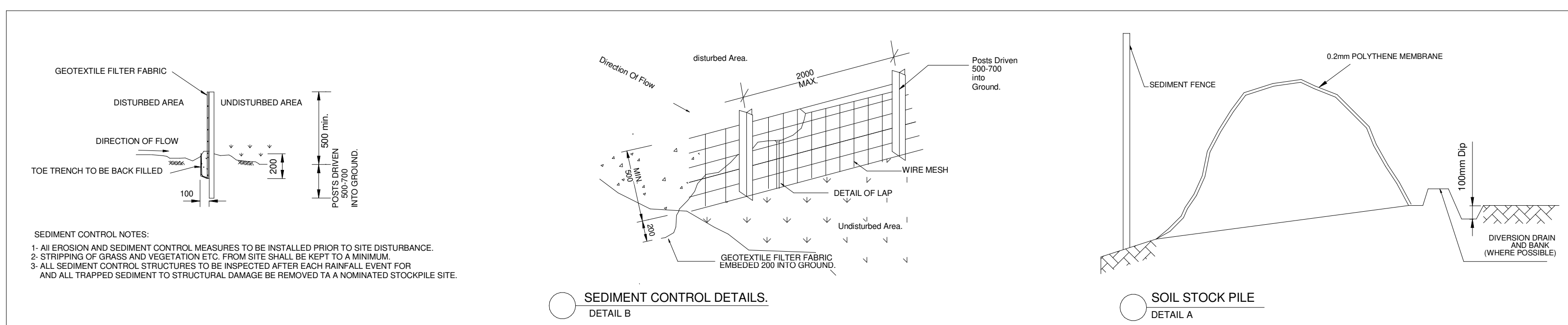
CONTROLS:
FSR = 300.0SQM
LANDSCAPE = 50.0SQM EACH LOT
P.O.S = 16.0SQM (4X4M)
SITE COVERAGE 60% = 964.3SQM

ACHIEVED:

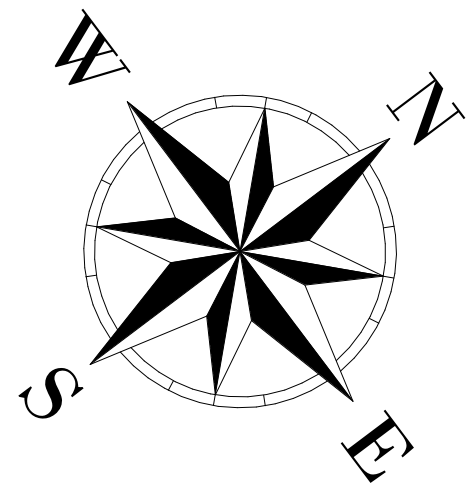
LOT 1:
APPROXIMATE LOT AREA = 803.897SQM
GROUND FLOOR AREA = 118.0SQM (EXCLUDING GARAGE, ALFRESCO)
LANDSCAPE = 528.5SQM
P.O.S = 126.0SQM

LOT 2:
APPROXIMATE LOT AREA = 803.885SQM
GROUND FLOOR AREA = 118.0SQM (EXCLUDING GARAGE, ALFRESCO)
LANDSCAPE = 528.5SQM
P.O.S = 126.0SQM

TOTAL SITE COVERAGE = 290.0SQM



JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES	DRAWN	M.N.	ISSUE	AMENDMENT	BY	DATE
PROPOSED ATTACHED DUAL OCCUPANCY	SITE / ANALYSIS AND SEDIMENT CONTROL PLAN	DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS, GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.	CHECKED	P.PERRAS	A	DA COUNCIL SUBMISSION	P.P	OCT.25
AT	CLIENT DETAILS	THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD, ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.	SCALE	1:100 A0				
6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO		JOB NUMBER	2510				
			NUMBER IN SET	2				
			ISSUE	A				



IMPORTANT NOTE:
ALL DIMENSIONS AND NOTES ON ALL PLANS MUST BE CHECKED AND VERIFIED BY BUILDER AND / OR OWNER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS TO CLARIFY AND CONFIRM WITH PERRAS DESIGN GROUP ANY DISCREPANCIES ON ALL DOCUMENTS AND PLANS PROVIDED FOR CONSTRUCTION. ANY WORK INDICATED ON THE PLAN BUT NOT IN THE SPECIFICATION OR VICE VERSA, AND ANY ITEM NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY AS PART OF PROPER CONSTRUCTION AND / OR FINISH IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS TO PLANS SPECIFICATIONS MAY NOT BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER. IT IS THE RESPONSIBILITY OF THE BUILDER / END USER TO VERIFY PLANS AND SPECIFICATIONS AS TO THEIR ACCURACY AND SUITABILITY AND ALL SITE WORKS MUST COMPLY WITH CURRENT BCA AND AUSTRALIAN STANDARDS

Design Matters		BUILDING ELEMENT SUMMARY TABLE	
Insulation & Colour Details		WB8 code	Max
Roof colour - medium: R1.3 Slabtek		U-val	+0.0%
Ceiling under roof: R1.0		U-val	+0.0%
External walls: R1.3 / Argillite Full		U-val	+0.0%
Shall cover party wall: R1.0		U-val	+0.0%
Internal walls (Living, Bathrooms, Laundry, WC): R1.0		U-val	+0.0%
Bath on ground		U-val	+0.0%
Timber flooring to Bedrooms and Living areas		U-val	+0.0%
Window Details		WB8 code	Max
W1, W7 - Sliding Window		U-val	+0.0%
W2, W6, W8 - Sliding Window		U-val	+0.0%
W3, W4, W5 - Sliding Window		U-val	+0.0%
S1 - Sliding Door		U-val	+0.0%
S2 - Sliding Door		U-val	+0.0%
Building sealing		U-val	+0.0%
Overights to be sealed		U-val	+0.0%
Extract fans - sealed		U-val	+0.0%
Air infiltration seals to external residence and garage internal doors		U-val	+0.0%
Additional details - refer to certificate		U-val	+0.0%

Certificate No. #HR-6DQ83D-01

Assessor name: Cengiz Ozcelik

Accreditation No: DMN24/2200

Property Address: LOT 1, 6 Pruela Street, Meinindie, NSW, 2579

<http://www.hero-software.com.au/pathHR-6DQ83D-01>

Certificate No. #HR-GJF8DW-01

Assessor name: Cengiz Ozcelik

Accreditation No: DMN24/2200

Property Address: LOT 2, 6 Pruela Street, Meinindie, NSW, 2579

<http://www.hero-software.com.au/pathHR-GJF8DW-01>

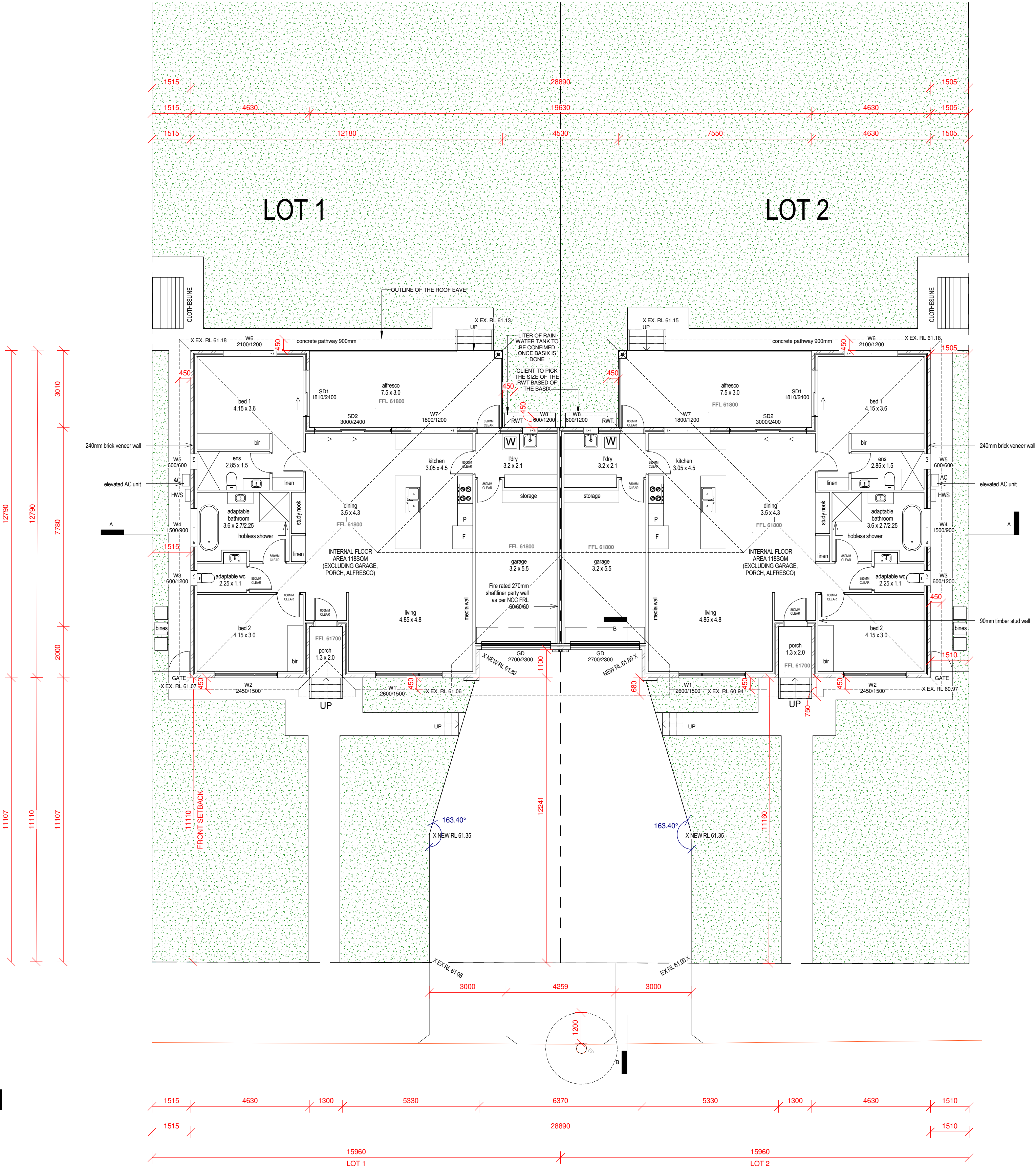
Certificate No. #HR-0K2MIE-01

Assessor name: Cengiz Ozcelik

Accreditation No: DMN24/2200

Property Address: 6 Pruela Street, Meinindie, NSW, 2579

<http://www.hero-software.com.au/pathHR-0K2MIE-01>



GROUND FLOOR PLAN
SCALE 1:100

PLANS BY...

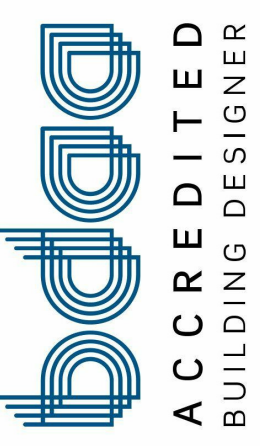
perras design group

Suite 6, 92 Bathurst Street,
Liverpool NSW 2170
Office - (02) 8005 1000

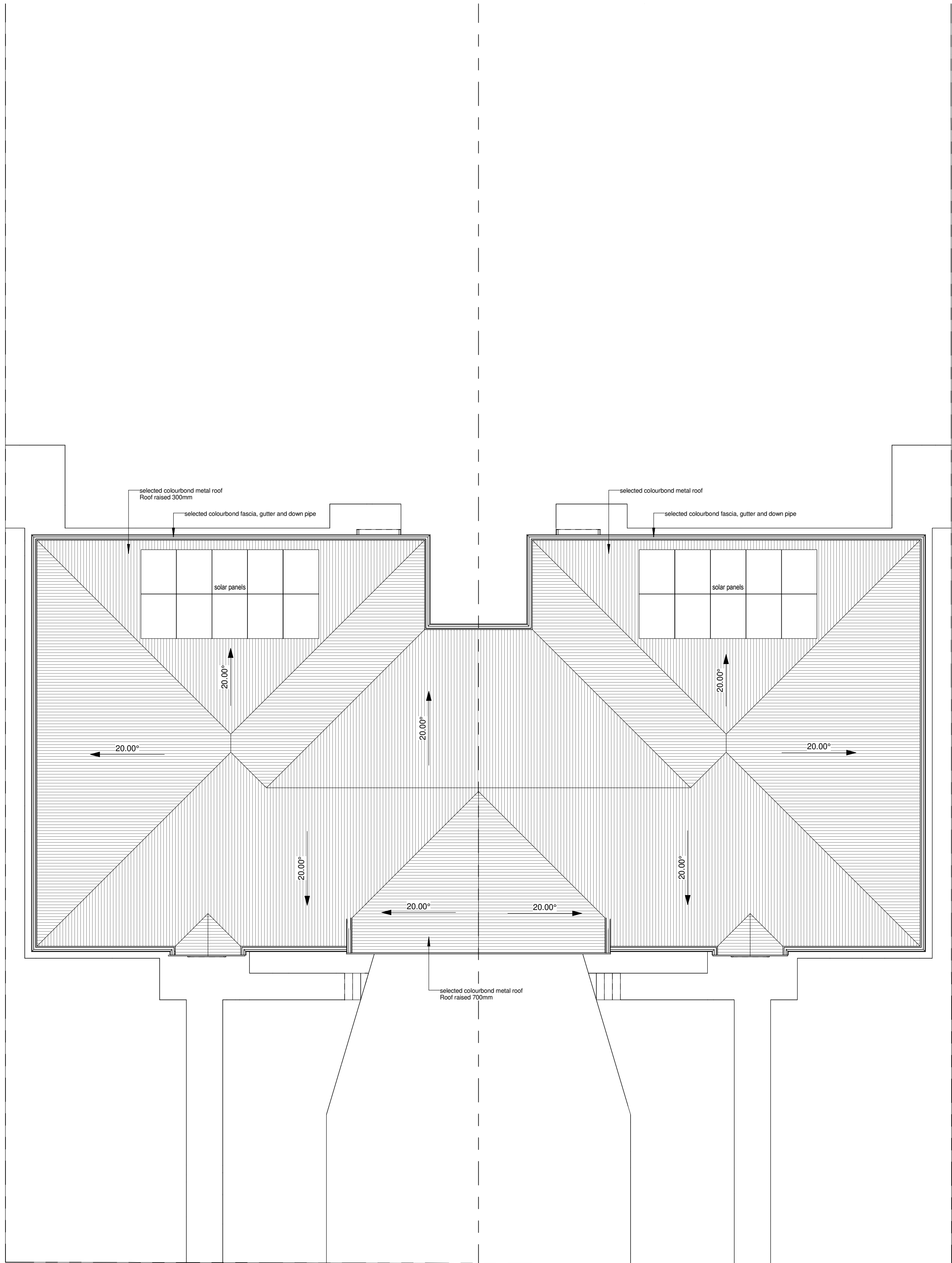
www.perrasdesigngroup.com.au

PETER PERRAS - DIRECTOR - Mobile 0414 507 259

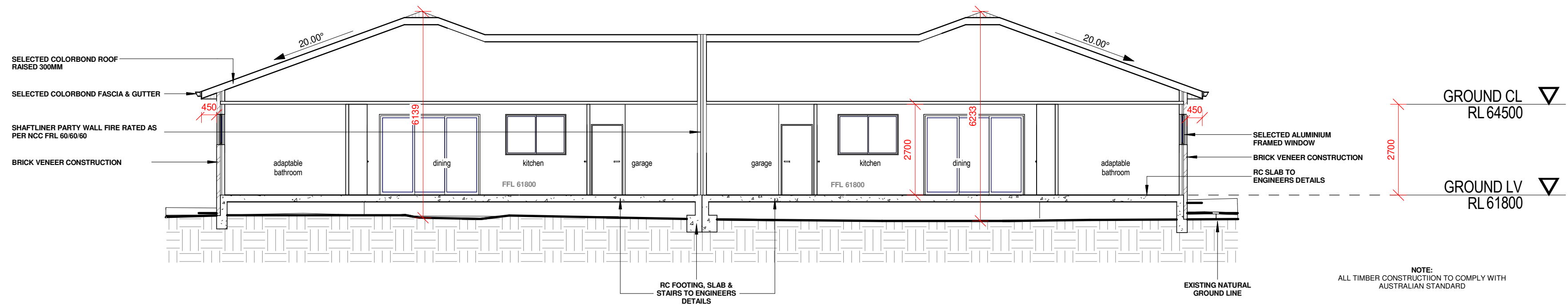
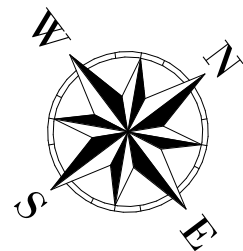
Registered Design Practitioner DEP0001985 (All Classes)
Accredited BDA Aust 6639
M.BDAA 7488.21



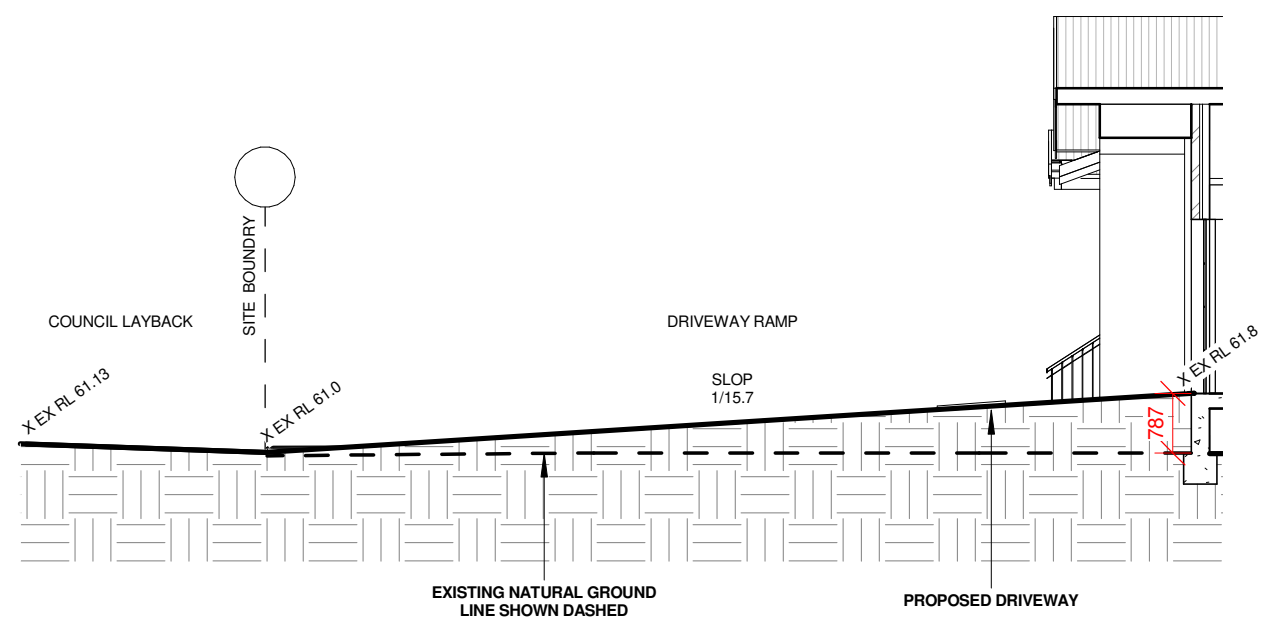
JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES	DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
PROPOSED ATTACHED DUAL OCCUPANCY	GROUND FLOOR PLAN	DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS, GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS. - COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD. ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.	DATE	OCT.25	A	DA COUNCIL SUBMISSION	P.P	OCT.25
AT 6 PRUELLA STREET, MEININDIE	CLIENT DETAILS		CHECKED	P.PERRAS				
			SCALE	1:100 A1				
			JOB NUMBER	2510				
			NUMBER IN SET	3				
			ISSUE	A				



ROOF PLAN
SCALE 1:100



SECTION A
SCALE 1:100



SECTION B
SCALE 1:100

Design Matters			
BUILDING ELEMENT SUMMARY TABLE			
Insulation & Colour Details			
Roof colour - medium RL 9.5 Shingles			
Ceiling under roof - R4.5			
External walls - R2.5 - Anglifer Pol			
Internal walls - R2.5			
Internal walls (Garage, Bathroom, Laundry, WC) - R2.5			
Slab on ground			
Timber flooring to Bedrooms and Living areas			
Window Details			
W1 - W7 - Sliding Window	WERS code	Max	SWHC
W2, W6, W8 - Sliding Window	ALM-002-03 A	5.4	0.58
W3, W4, W5 - Sliding Window	ALM-002-02 A	6.7	0.70
W9 - Sliding Door	ALM-002-02 A	6.6	0.49
W10 - Sliding Door	ALM-002-01 A	6.7	0.70
W11 - Sliding Door	ALM-002-03 A	5.4	0.58
Building sealing			
Overlays to be sealed			
Exhaust fans - sealed			
All diffusion seals to external residence and garage internal doors			
Additional details - refer to eamERs certificate			

**Certificate No. #HR-6DQ83D-01**

Scan QR code or follow website link for rating details.

Assessor name - Cengiz Ozcelik

Accreditation No. - DMV24/2000

Property Address - LOT 1, 6 Pruella Street, Merindale, NSW, 2159



<http://www.hero-software.com.au/pdHR-6DQ83D-01>

**Certificate No. #HR-GJF8DW-01**

Scan QR code or follow website link for rating details.

Assessor name - Cengiz Ozcelik

Accreditation No. - DMV24/2000

Property Address - LOT 2, 6 Pruella Street, Merindale, NSW, 2159



<http://www.hero-software.com.au/pdHR-GJF8DW-01>

**Certificate No. #HR-0K2MIE-01**

Scan QR code or follow website link for rating details.

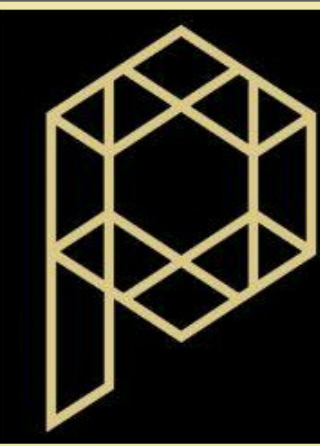
Assessor name - Cengiz Ozcelik

Accreditation No. - DMV24/2000

Property Address - 6 Pruella Street, Merindale, NSW, 2159



<http://www.hero-software.com.au/pdHR-0K2MIE-01>



PLANS BY...
perras design group

Suite 6, 92 Bathurst Street,
Liverpool NSW 2170
Office - (02) 8005 1000

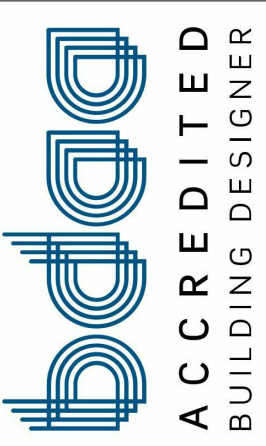
www.perrasdesigngroup.com.au

PETER PERRAS - DIRECTOR - Mobile 0414 507 259

Registered Design Practitioner Body Corporate DEP0003999

Accredited BDA Aust 6639

M.BDAA 7488.21



JOB DESCRIPTION

PROPOSED ATTACHED DUAL OCCUPANCY

AT
6 PRUELLA STREET, MERINDÉE

DRAWING TITLE

ROOF PLAN / SECTIONS

CLIENT DETAILS

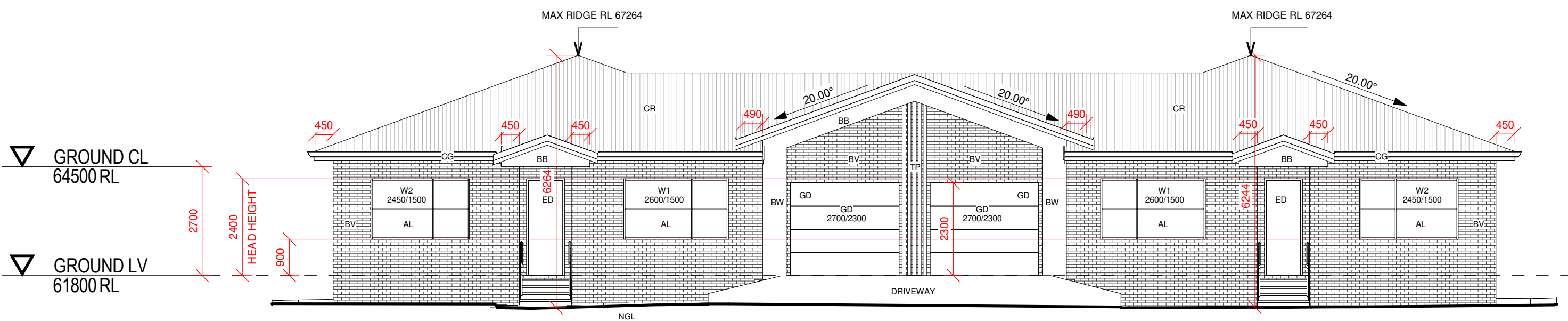
MATTHEW HARTNEY, MICHAEL ABDO

GENERAL NOTES

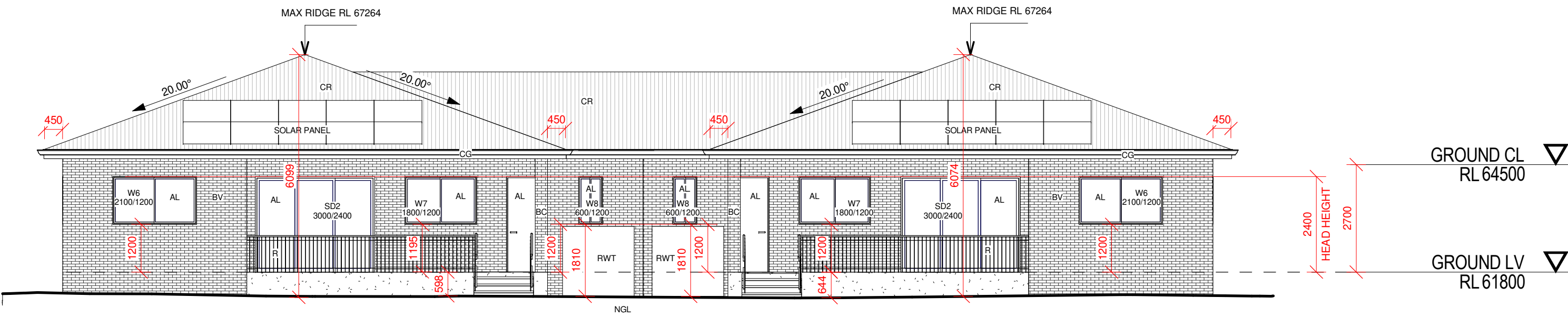
DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS, GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.

THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD. ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
DATE	OCT.25	A	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.PERRAS				
SCALE	1:100 A1				
JOB NUMBER	2510				
NUMBER IN SET	4				
ISSUE	A				



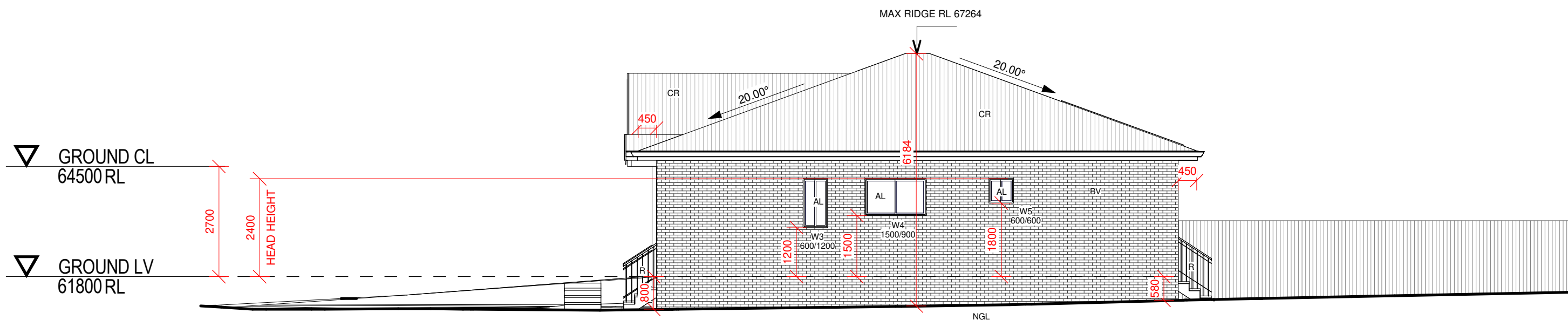
SOUTH EAST ELEVATION
SCALE 1:100



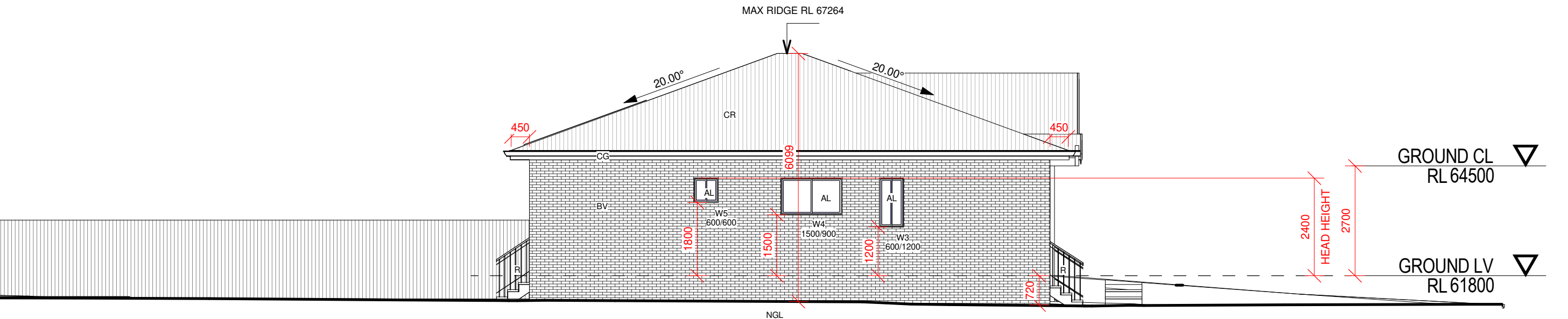
NORTH WEST ELEVATION
SCALE 1:100

LEGENDS
CR - SELECTED COLORBOND METAL ROOF
CG - COLORBOND FASCIA, GUTTER & DOWNPIPES
BV - BRICK VENEER WITH BRICK FINISH
BW - BRICK WALL WITH RENDER AND PAINT FINISH
BB - SELECTED BLUEBOARD WITH RENDER AND PAINT FINISH
ED - ENTRY DOOR
AL - ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS
GD - GARAGE PANEL LIFT DOOR
R - STEEL RAILING
TP - TIMBER POST
NGL - NATURAL GROUND LINE
NOTE
FOR ALL FINISHES PLEASE SEE COLOUR SCHEDULE

Design Matters			
BUILDING ELEMENT SUMMARY TABLE			
Insulation & Colour Details			
Roof colour - medium R1.3 Standard			
Ceiling under roof - R5.0			
External walls - R5.0 - Single/Fold			
Shaft Line party wall - R2.5			
Internal walls (Garage, Bathroom, Laundry, WC) - R2.5			
Slab on ground			
Timber flooring to bedrooms and living areas			
Window Details			
W1, W7 - Sliding Window	WESD code	Max Uval	SPSC
W2, W3, W5 - Sliding Window	ALM-002-01 A	5.4	0.58
W4, W6, W8 - Sliding Window	ALM-002-01 A	6.7	0.70
W9, W10 - Sliding Window	ALM-002-01 A	6.0	0.48
D1 - Sliding Door	ALM-002-01 A	6.7	0.70
D2 - Sliding Door	ALM-002-01 A	5.4	0.58
Building testing			
Overweights to be tested			
Exhaust fans - tested			
Air infiltration tests for external residence and garage internal doors			
Additional details - refer to NABERS certificate			



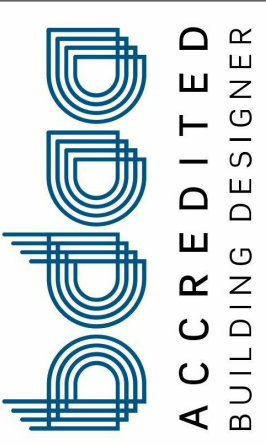
SOUTH WEST ELEVATION
SCALE 1:100



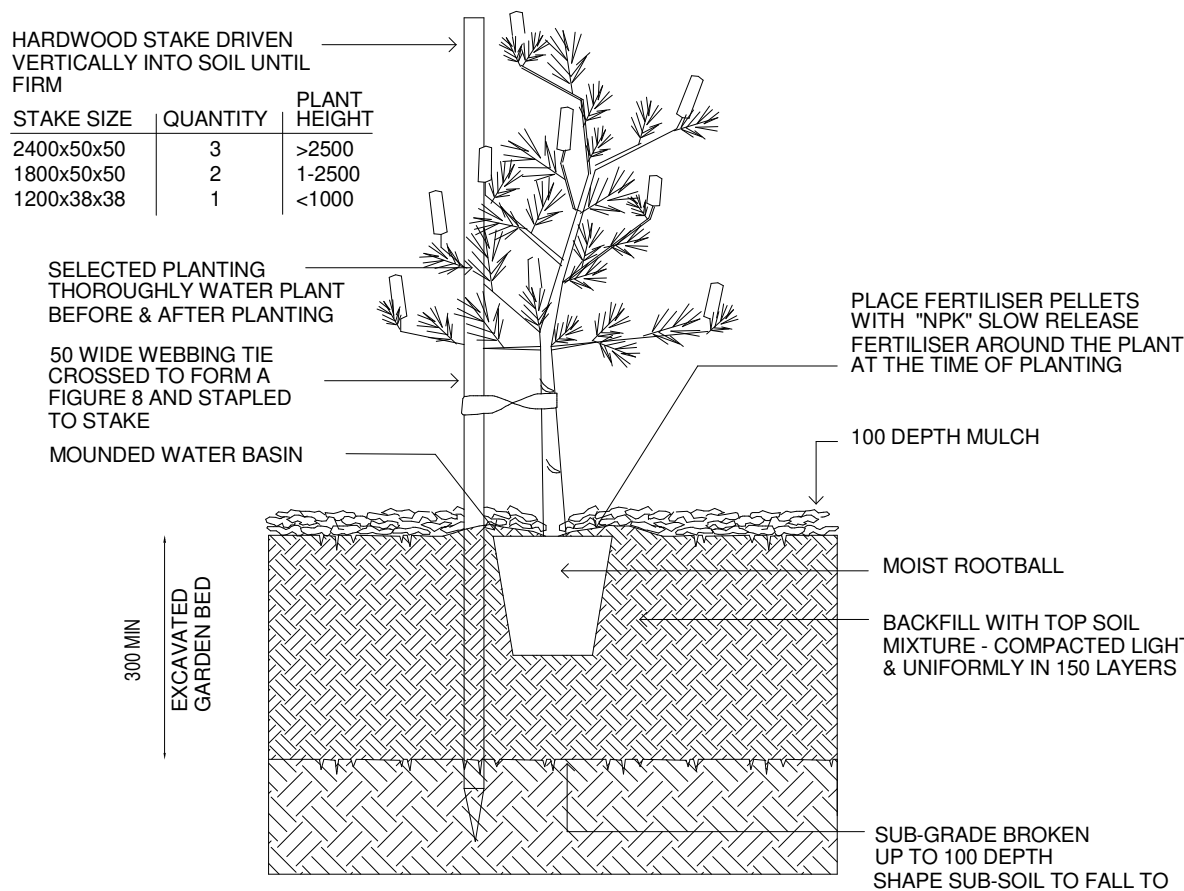
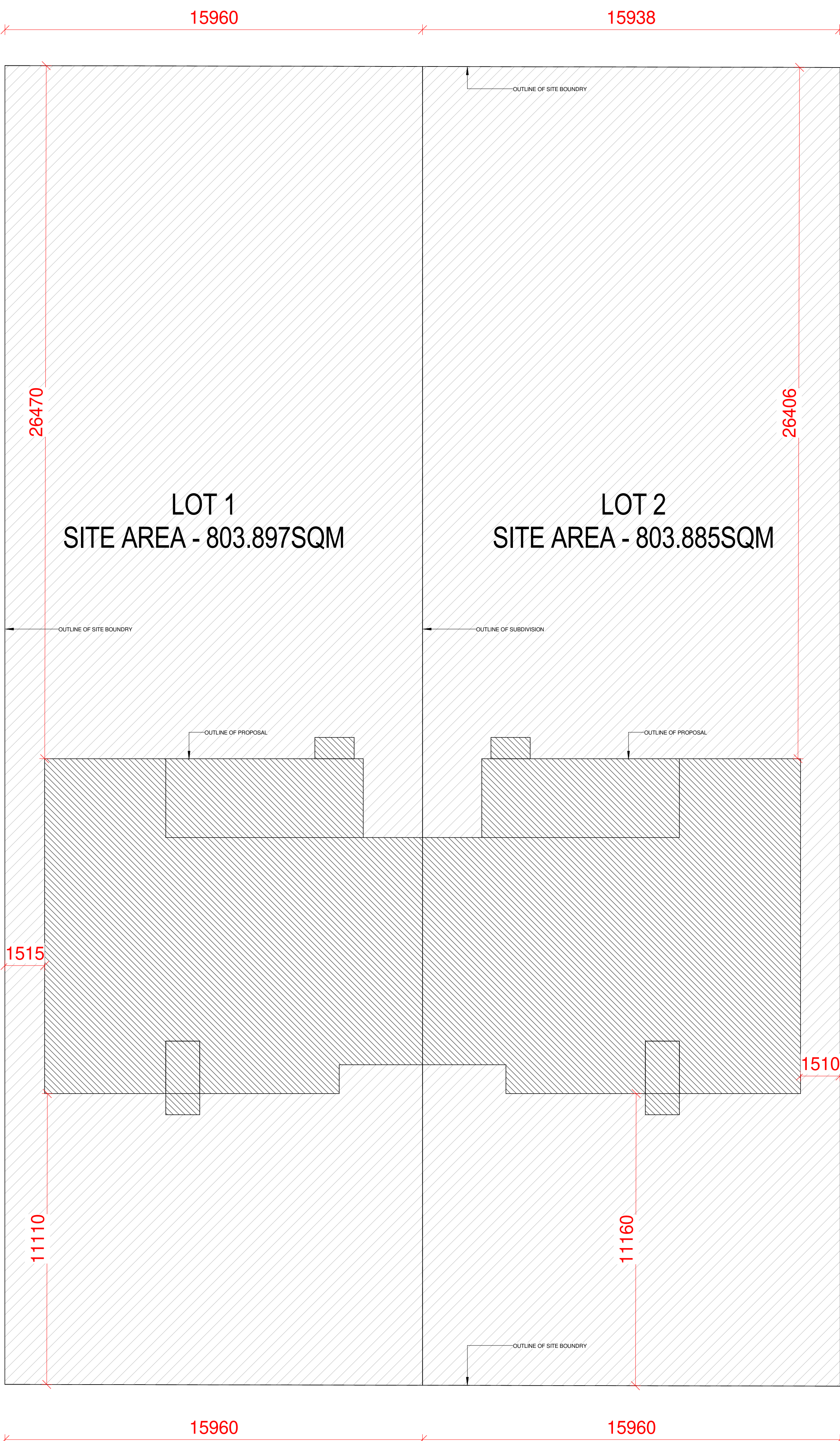
NORTH EAST ELEVATION
SCALE 1:100



Suite 6, 92 Bathurst Street,
Liverpool NSW 2170
Office - (02) 8005 1000
www.perrasdesigngroup.com.au
PETER PERRAS - DIRECTOR - Mobile 0414 507 259
Registered Design Practitioner Body Corporate DEP0003999
Registered Design Practitioner DEP0001985 (All Classes)
Accredited BDA Aust 6639
M.BDAA 7488.21

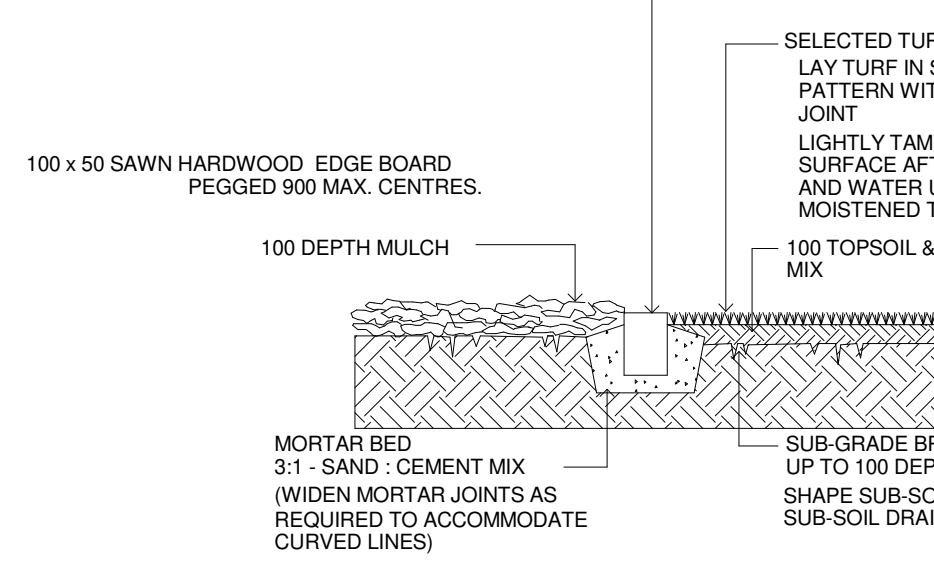


JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES	DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
PROPOSED ATTACHED DUAL OCCUPANCY	ELEVATIONS	DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS. - COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD, ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.	DATE	OCT.25	A	DA COUNCIL SUBMISSION	P.P	OCT.25
AT	CLIENT DETAILS		CHECKED	P.PERRAS				
6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO		SCALE	1:100 A1				
			JOB NUMBER	2510				
			NUMBER IN SET	5				
			ISSUE	A				



NOTE :
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS
SUCH AS EXTREME HEAT, COLD, WIND OR RAIN
CLAY SOIL IS TO BE TREATED WITH CLAY BREAKER
AND ORGANIC COMPOST

NOTE :
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS
SUCH AS EXTREME HEAT, COLD, WIND OR RAIN
CLAY SOIL IS TO BE TREATED WITH CLAY BREAKER
AND ORGANIC COMPOST

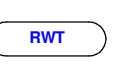


NOTE :
ALIGNMENT OF

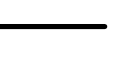
NOTE :
ALIGNMENT OF



LEGENDS



RAIN WATER TANK



1.8M HIGH SIDE & REAR FENCE

[illegible]

LANDSCAPE PLAN
SCALE 1:100

Design Matters
National

**BUILDING ELEMENT
SUMMARY TABLE**

Insulation & Colour Details

- Roof colour - medium - R1.3 Basalt
- Ceiling under roof - R2.0
- External walls - R1.3 - Antiglare Foil
- Slab (over party wall) - R2.5
- Internal walls (Living, Bathroom, Laundry, WC) - R2.5
- Slab on ground
- Timber flooring to Bedrooms and Living areas

Window Details

	WERS code	Max U-val	SHGC
W1, W7 - Sliding Window	ALM-002-01 A	5.4	0.36
W2, W4, W5 - Sliding Window	ALM-002-01 A	6.7	0.70
W3, W6, W8 - Sliding Window	ALM-002-02 A	6.6	0.40
S01 - Sliding Door	ALM-002-01 A	6.7	0.70
S02 - Sliding Door	ALM-002-01 A	5.4	0.36

Building weath

- Downlights to be added
- Extract fans - needed
- All infiltration units to external residence and garage internal doors

Additional details - refer to specialist certificate

**Certificate No. #HR-6DQ83D-01**
Scan QR code or follow website link for rating details.

Assessor name
Cengiz Ozcelik

Accreditation No.
DMN/24/2200

Property Address
LOT 1, 6 Pruella Street,
Meinindee, NSW, 2578



<http://www.hero-software.com.au/pdf/HR-6DQ83D-01>

**Certificate No. #HR-GJF8DW-01**
Scan QR code or follow website link for rating details.

Assessor name
Cengiz Ozcelik

Accreditation No.
DMN/24/2200

Property Address
LOT 1, 6 Pruella Street,
Meinindee, NSW, 2578



<http://www.hero-software.com.au/pdf/HR-GJF8DW-01>

**Certificate No. #HR-0K2MIE-01**
Scan QR code or follow website link for rating details.

Assessor name
Cengiz Ozcelik

Accreditation No.
DMN/24/2200

Property Address
6 Pruella Street, Meinindee,
NSW, 2578



<http://www.hero-software.com.au/pdf/HR-0K2MIE-01>



- LEGENDS**
- CR** - SELECTED COLORBOND METAL ROOF - COLORBOND, BASALT
 - CG** - COLORBOND FASCIA, GUTTER & DOWNPIPES - COLORBOND, BASALT
 - BV** - BRICK VENEER WITH BRICK FINISH - PGH, HIGHLANDS, LEURA
 - BW** - BRICK WALL WITH RENDER AND PAINT FINISH - DULUX, NATURAL WHITE
 - BB** - SELECTED BLUEBOARD WITH RENDER AND PAINT FINISH - DULUX, NATURAL WHITE
 - ED** - ENTRY DOOR - DULUX, RED BACK
 - AL** - ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS 0 COLORBOND, SHALE GREY
 - GD** - GARAGE PANEL LIFT DOOR - COLORBOND, SHALE GREY
 - R** - STEEL RAILING - BLACK
 - TP** - TIMBER POST - DULUX, NATURAL WHITE
 - F** - PATIO / ALFRESCO - BEAUMONT, LAGOON GREY



PLANS BY...

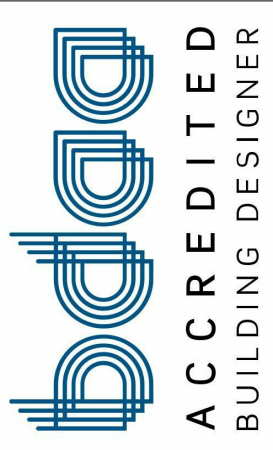
perras design group

Suite 6, 92 Bathurst Street,
Liverpool NSW 2170
Office - (02) 8005 1000

www.perrasdesigngroup.com.au

PETER PERRAS - DIRECTOR - Mobile 0414 507 259

Registered Design Practitioner Body Corporate DEP0003999
Accredited BDA Aust 6639
M.BDAA 7488.21



JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES
PROPOSED ATTACHED DUAL OCCUPANCY	COLOUR SCHEDULE	DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS, GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS. - COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD. ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.
AT 6 PRUELLA STREET, MEININDEE	CLIENT DETAILS	
	MATTHEW HARTNEY, MICHAEL ABDO	

DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
DATE	OCT.25	A	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.PERRAS				
SCALE	A1				
JOB NUMBER	2510				
NUMBER IN SET	7				
ISSUE	A				

