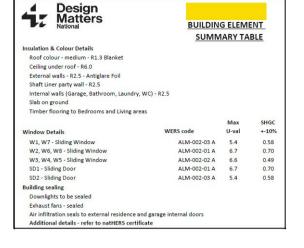


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SCALE 1:100

Suite 6, 92 Bathurst Street, Liverpool NSW 2170 Office-(02) 8005 1000

www.perrasdesigngroup.com.au PETER PERRAS - DIRECTOR - Mobile 0414 507 259

Registered Design Practitioner Body Corporate DEP0003999
Registered Design Practitioner DEP0001985 (All Classes)
Accredited BDA Aust 6639
M.BDAA 7488.21

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1	<u>П</u> В	JOB DESCRIPTION	DRAWING TITLE
)	EDITE B DESIGN	PROPOSED ATTACHED DUAL OCCUPANCY	GROUND FLOOR PLAN
	~ <u>N</u>	AT	CLIENT DETAILS
)	A C (6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO

GENERAL NOTES

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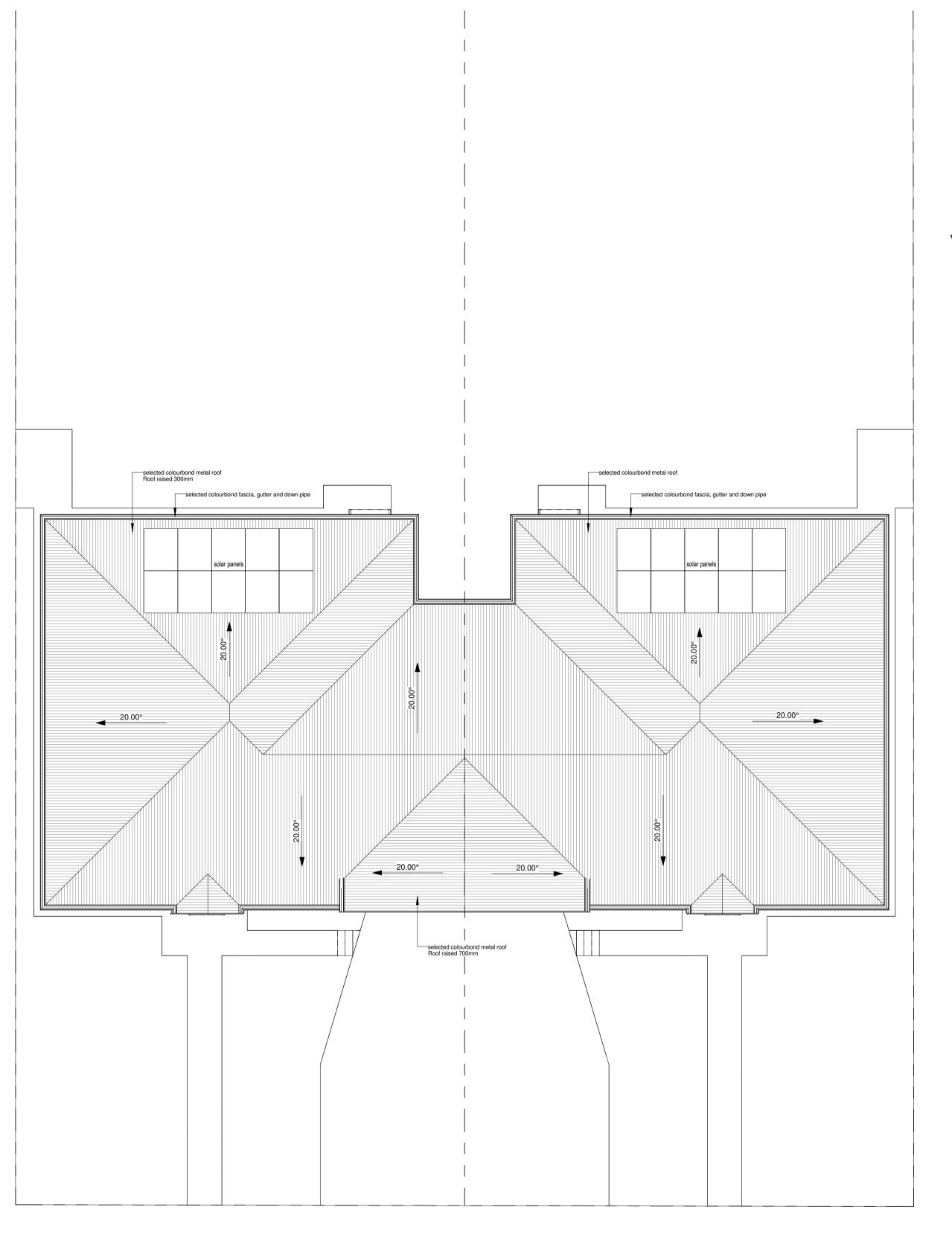
CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES

BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE

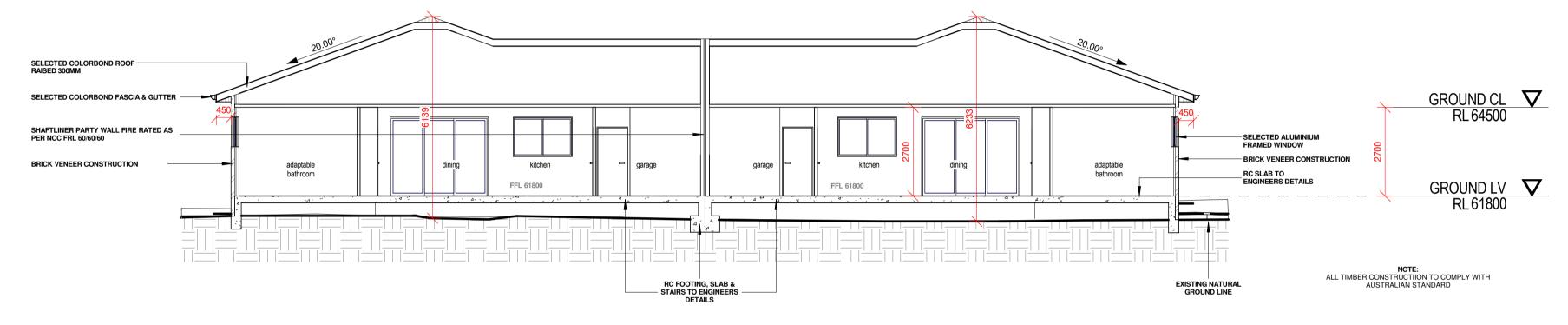
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DIRECTOR OF PERRAS DESIGN GROUP PTY LTD,
ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED

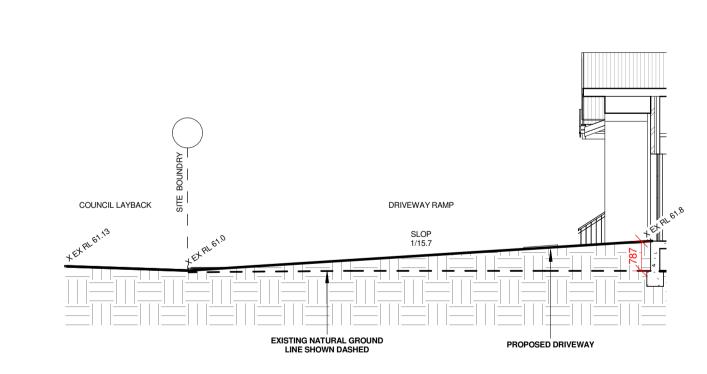
DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
DATE	OCT.25	Α	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.PERRAS				
SCALE	1:100 A1				
JOB NUMBER	2510				
NUMBER IN SET	3				
ISSUE	A				
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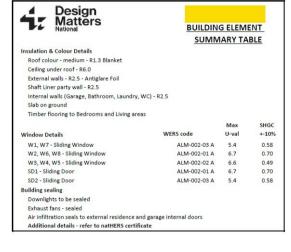




SECTION A SCALE 1:100



SECTION B SCALE 1:100





ROOF PLAN SCALE 1:100



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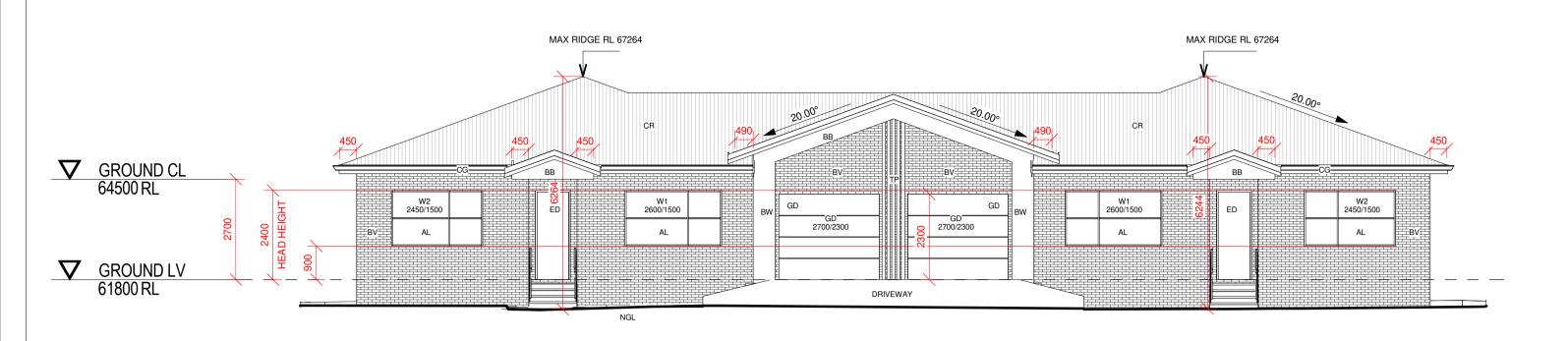
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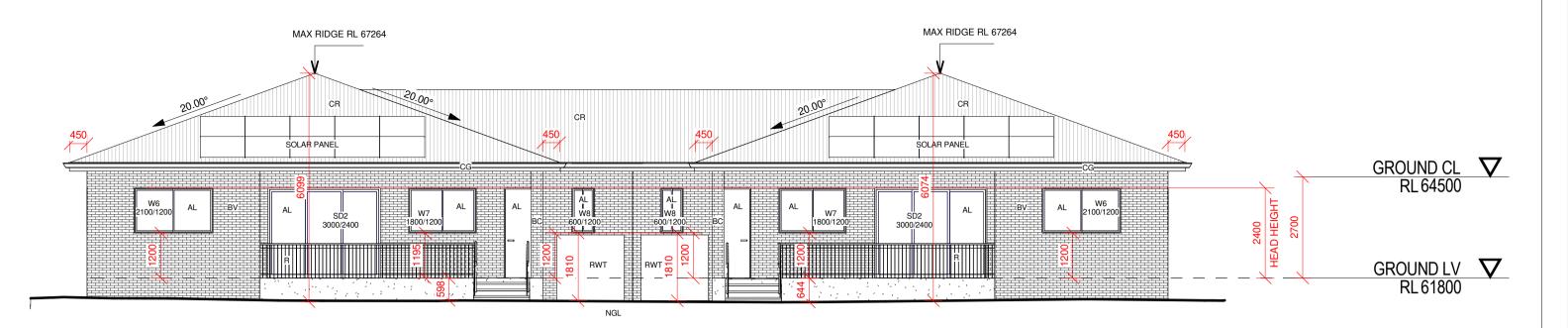
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Registered Design Practitioner DEP0001985 (All Classes)
Accredited BDA Aust 6639
M.BDAA 7488.21

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۳ ت	JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES
E U I E G DESIGN	PROPOSED ATTACHED DUAL OCCUPANCY	ROOF PLAN / SECTIONS	DO NOT SCALE THE DRAWINGS, READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE
۲ <u> ۲</u>	AT	CLIENT DETAILS	TO SITE CONDITIONS. COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD,
۲ ۲ د	6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO	ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
DATE	OCT.25	Α	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.PERRAS				
SCALE	1:100 A1				
IOB NUMBER	2510				
number in set	4				
SSUE	A				



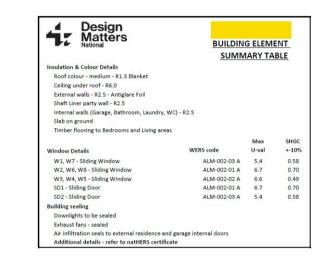


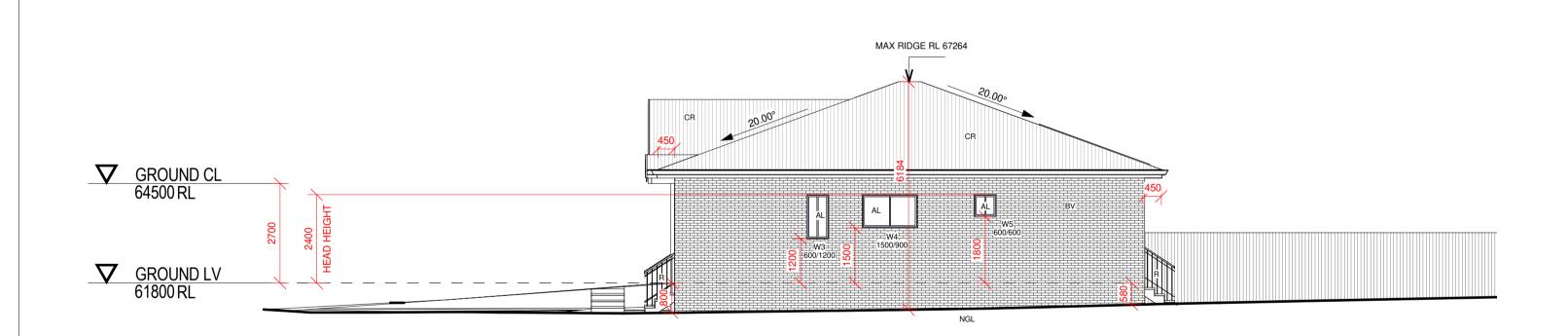
SOUTH EAST ELEVATION SCALE 1:100

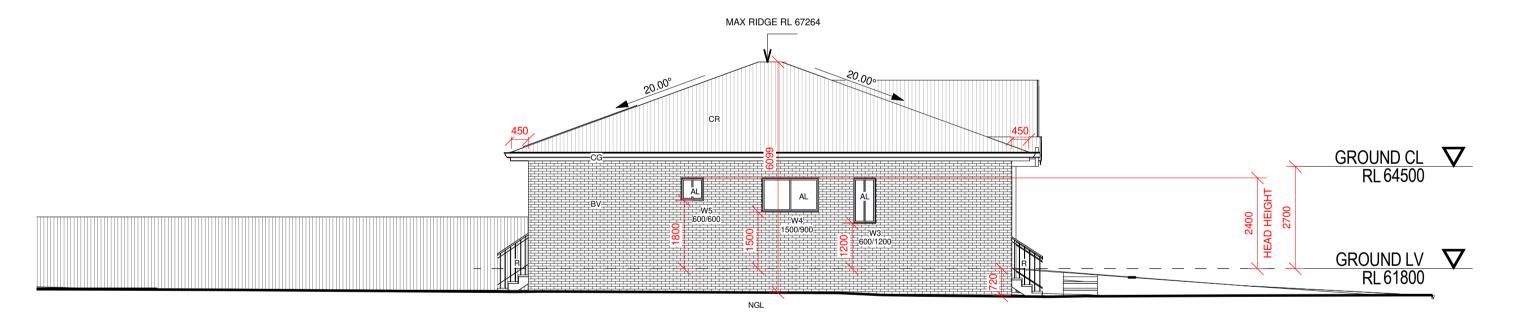
LEGENDS
CR - SELECTED COLORBOND METAL ROOF
CG - COLORBOND FASCIA, GUTTER & DOWNPIPES
BV - BRICK VENEER WITH BRICK FINISH
BW - BRICK WALL WITH RENDER AND PAINT FINISH
BB - SELECTED BLUEBOARD WITH RENDER AND PAINT FINISH
ED - ENTRY DOOR
AL - ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS
GD - GARAGE PANEL LIFT DOOR
R - STEEL RAILING
TP - TIMBER POST
NGL - NATURAL GROUND LINE

NOTE
FOR ALL FINISHES PLEASE SEE COLOUR SCHEDULE

NORTH WEST ELEVATION SCALE 1:100







SOUTH WEST ELEVATION SCALE 1:100

NORTH EAST ELEVATION SCALE 1:100





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JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES
PROPOSED ATTACHED DUAL OCCUPANCY	ELEVATIONS	DO NOT SCALE THE DRAWINGS, READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.
AT	CLIENT DETAILS	- COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD,
6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO	ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

PRAWN	M.N	REV.NO.	AMENDMENT	ВҮ	DATE
DATE	OCT.25	Α	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.PERRAS				
CALE	1:100 A1				
OB NUMBER	2510				
iumber in Set	5				
SSUE	A	-			

15938 OUTLINE OF SITE BOUNDRY

OUTLINE OF SITE BOUNDRY

LOT 2

SITE AREA - 803.885SQM

OUTLINE OF PROPOSAL

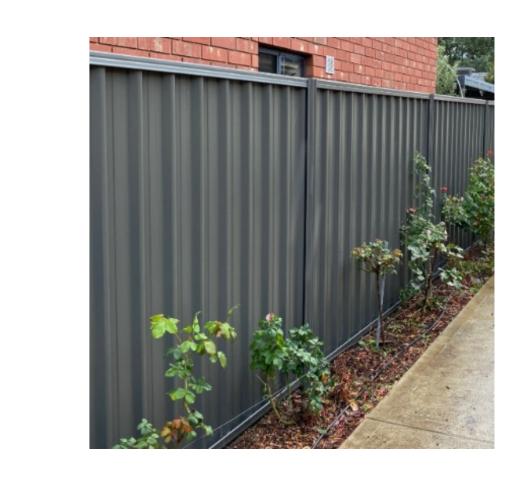
OUTLINE OF SUBDIVISION

OUTLINE OF SITE BOUNDRY

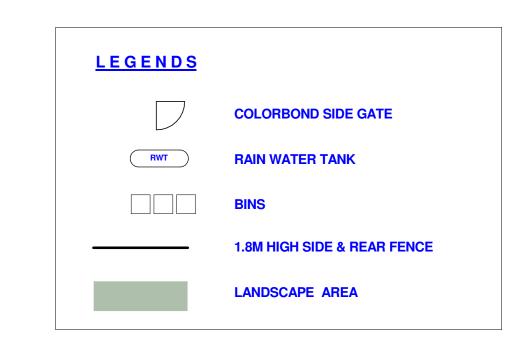
15960

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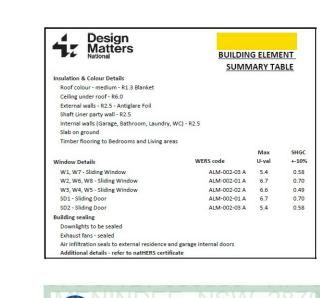
AND ALL SITE WORKS MUST COMPLY WITH CURRENT BCA AND AUSTRALIAN STANDARDS



SIDE & REAR FENCE - Colorbond basalt finish

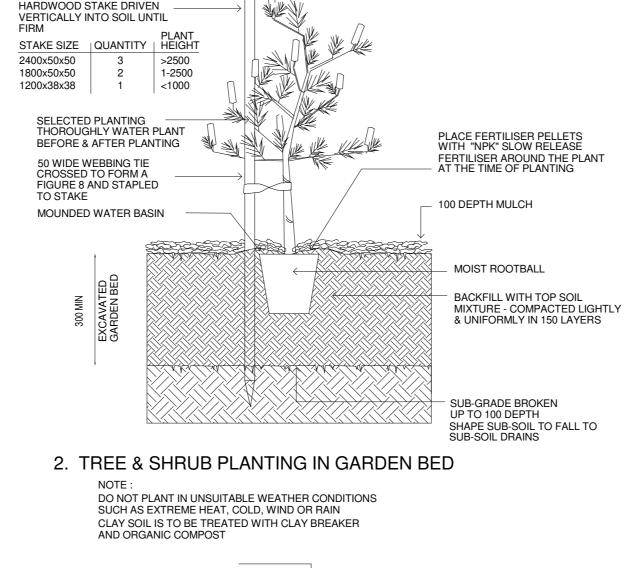


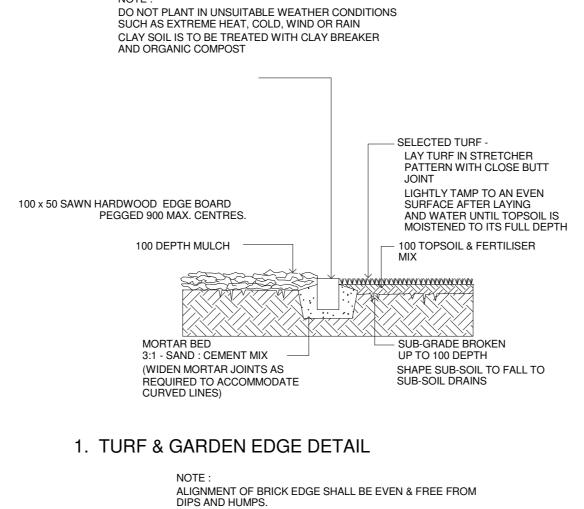
<u>LEGENDS</u>	<u>NAMES</u>	<u>HEIGHT</u>	SIZE	QUANTITY
	Acacia floribunda - gossamer wattle	4M	30L	2
*	Westringia GREY BOX	0.6M	15L	10
	Westringia White Mundi - variegated	0.6M	15L	6
*	Westringia fruticosa - coastal rosemary	0.9M	20L	8
*	Westringia Blue Gem	1.2M	20L	6

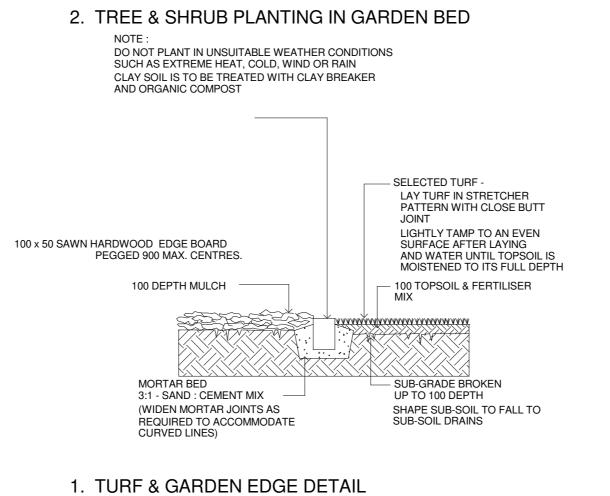




Capstone to be concrete cap stone or pressed brick with no holes apparent. Bricks same as TYPICAL MAILBOX AND HOUSE NUMBER PIER









OUTLINE OF THE ROOF EAVE

FFL 61800

shaftliner party wall as per NCC FRL

LOT 1

240mm brick veneer wall -

elevated AC unit -

SUBDIVISION PLAN **SCALE 1:100**

LANDSCAPE PLAN SCALE 1:100

ISSUE

LOT 2

AREA 118SQM (EXCLUDING GARAGE, PORCH, ALFRESCO)

living 4.85 x 4.8

hobless shower

240mm brick veneer wall

elevated AC unit



15960

15960

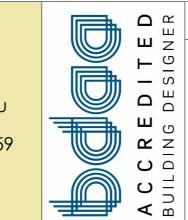
LOT 1

SITE AREA - 803.897SQM

OUTLINE OF PROPOSAL

OUTLINE OF SITE BOUNDRY





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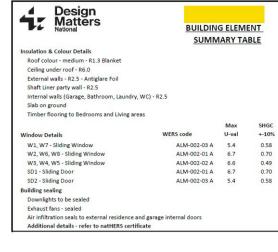
Ж	JOB DESCRIPTION	DRAWING TITLE
DESIGN	PROPOSED ATTACHED DUAL OCCUPANCY	SUBDIVISION PLAN / LANDSCAPE PLAN
DING	AT 6 PRUELLA STREET, MEININDEE	CLIENT DETAILS
7	OT NOLLEA STREET, MEININDEL	MATTHEW HARTNEY, MICHAEL ABDO

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DRAWN	M.N	ISSUE	AMENDMENT	BY	DATE
DATE	OCT.25	Α	DA COUNCIL SUBMISSION	P.P	OCT.25
CHECKED	P.P				
SCALE	1:100 A0				
JOB NUMBER	2510				
NUMBER IN SET	6				







<u>LEGENDS</u>

- CR SELECTED COLORBOND METAL ROOF COLORBOND, BASALT
- **CG** COLORBOND FASCIA, GUTTER & DOWNPIPES COLORBOND, BASALT
- BV BRICK VENEER WITH BRICK FINISH PGH, HIGHLANDS, LEURA
- BW BRICK WALL WITH RENDER AND PAINT FINISH DULUX, NATURAL WHITE
- BB SELECTED BLUEBOARD WITH RENDER AND PAINT FINISH DULUX, NATURAL WHITE **ED** - ENTRY DOOR - DULUX, RED BACK
- **AL** ALUMINIUM FRAME WINDOWS AND SLIDING GLASS DOORS 0 COLORBOND, SHALE GREY
- GD GARAGE PANEL LIFT DOOR COLORBOND, SHALE GREY
- **R** STEEL RAILING BLACK
- TP TIMBER POST DULUX, NATURAL WHITE
- F PATIO / ALFRESCO BEAUMONT, LAGOON GREY



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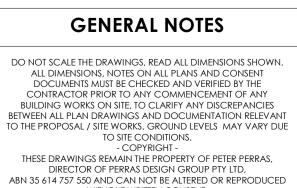
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Accredited BDA Aust 6639 M.BDAA 7488.21



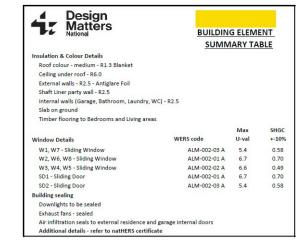
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JOB DESCRIPTION	DRAWING TITLE
PROPOSED ATTACHED DUAL OCCUPANCY	COLOUR SCHEDULE
AT	CLIENT DETAILS
6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL ABDO



WITHOUT WRITTEN CONSENT.

	DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
	DATE	OCT.25	Α	DA COUNCIL SUBMISSION	P.P	OCT.25
	CHECKED	P.PERRAS				
- <u>=</u>	SCALE	Al				
	JOB NUMBER	2510				
1	NUMBER IN SET	7				
	ISSUE	A	-			





Assessor name Cengiz Ozcelik

Accreditation No. DMN/24/2200

Property Address 6 Pruella Street, Menindee, NSW, 2879

http://www.hero-software.com.au/pdf/HR-0K2MIE-01

http://www.hero-software.com.au/pdf/HR-0K2MIE-01



Certificate Prepared by	
Name / Company Name: Five Star NatHERS	

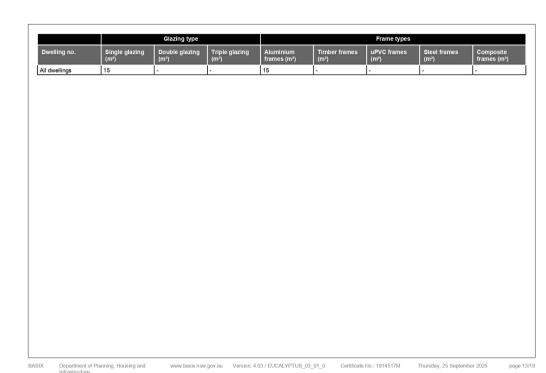
				Fixtures Appliances Individual pool Individual spa	3. Commitments for common areas and central systems/facilities for the development (non-building specific)
BASIX™Certificate	Project summary			Dwelling All All All HW All All Ish- Volume Pool Pool Pool Volume Spa Spa External wall ty no. shower- tollet kitchen bathroom recirculation clothes washers (max cover location shaded (max cover shaded) Dwelling no. Wall type Area (m²) Inst	Type 1 External wall type 2 (b) Common areas and central systems/facilities
Building Sustainability Index www.planningportal.nsw.gov.au/development-and-assessment/basix	Project name Street address	6 Pruella Street Menindee- M 6 PRUELLA STREET MENII		no. Shower heads Tlushing systems systems a system of the	sulation Low emissions option Wall type Area (m²) Insulation Low emissions option Show on CC/CDC DA plans specs check
Multi Dwelling	Local Government Area Plan type and plan number	CENTRAL DARLING Deposited Plan 806399		All 4 star (> 4 star (> dwellings 4.5 but <= 5 star 5 star	(a) If, in carrying out the development, the applicant installs a showerhead, tollet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.
ertificate number: 1814517M	Lot No. Section no.	9		6 U/min) External walls External wall sy	(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table
	No. of residential flat buildings Residential flat buildings: no. of dwellings	0			nsulation Low emissions option Wall type Area (m²) Insulation Low emissions option (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.
s certificate confirms that the proposed development will meet the NSW ernment's requirements for sustainability, if it is built in accordance with the	Multi-dwelling housing: no. of dwelling	ngs 2		Dwelling no. Alternative water supply systems	L L L L L L L L L L L L L L L L L L L
mitments set out below. Terms used in this certificate, or in the commitments, e the meaning given by the document entitled "BASIX Definitions" dated 19/2020 oublished by the Department. This document is available at	No. of single dwelling houses Project score	10		All dwellings Individual water tank (No. 1) Tank size (min) 1000 ((e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.
w.planningportal.nsw.gov.au/definitions	Water	✓ 0	Target 0	Dwelling no. Wall type Area (m²) Insulati	(r) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.
of issue: Thursday, 25 September 2025 e valid, this certificate must be submitted with a development application or lodged with a	Thermal Performance	✓ Pass	Target Pass	(ii) Energy Show on DA plans Show on CC/CDC plans & specs	plasterboard, frame: timber 89 Common area Showerheads rating Toilets rating Taps rating Clothes washers rating
nplying development certificate application within 3 months of the date of issue.	Energy	✓ 100	Target 68	(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is	- untreated softwood areas no common facility no co
CW	Materials	✓ -45	Target n/a	supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling, so that the dwelling shot water is supplied by that central system. (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in	Raked ceiling / pitched or skillion roof Flat ceiling / flat roof (ii) Energy (iii) Energy Show on CC/CDC Certification of the control of
NSW				the table below. Each such ventilation system must have the operation control specified for it in the table. (d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living reas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, infor at least 1 living/bedroom area of the dwelling. If no	Acade deling / picned of skillon foor Flat ceiling / nat roor Plat ceiling / nat roor DA plans DA
nen submitting this BASIX certificate with a development application or complying velopment certificate application, it must be accompanied by NatHERS certificate R-6DQ83D-01.				cooling or heating system is specified in the table for "Living areas" or "Badroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. All dwellings framed - day display the system must provide for day/night zoning batts or between living areas and bedrooms.	of: foil/ frame: timber roll,Roof: foil/ applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area,
				(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting is a softwood softwood."	softwood (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each
	Certificate Prepared by			lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or race, then the light fittings in that room or area must only be capable of being used for fluorescent	case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.
	Name / Company Name: Five Star N	NatHERS		lighting or light emitting diode (LED) lighting.	
	ABN (if applicable): 25033080585				

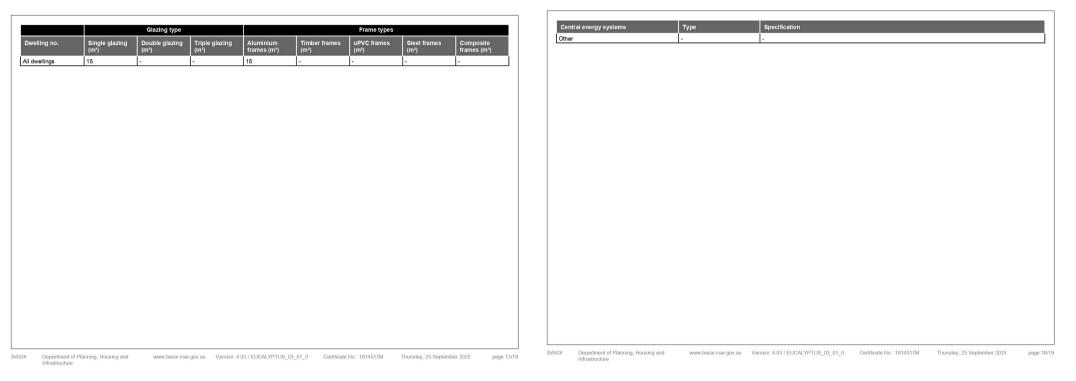
	External walls										
		Extern	nal wall type 1						External v	vall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Low emis	sions	Wall typ	pe	Area	(m²)	Insulation	Low emissions option
	- untreated softwood						Ì				
	External walls										
		Extern	nal wall type 3						External v	vall type 4	
Dwelling no.	Wall type	Area (m²)	Insulation	Low emis	sions	Wall ty	pe	Area	(m²)	Insulation	Low emissions option
All dwellings	-	-	-	-		-		-		-	-
	Internal walls										
	Interna	l walls shared with	n garage		Internal	wall type	1			Internal wall t	ype 2
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	1	Wall type	Area (m²)	Insulation
All dwellings	plasterboard, frame: timber - untreated softwood	15	-	plasterboard, frame: timber - untreated softwood	89		-		-	-	-
	Ceiling and roo	of									
	Fla	t ceiling / pitched	roof	Raked ce	iling / pit	ched or s	killion roof			Flat ceiling / fla	at roof
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (I	m²)	Insulation	1	Construction type	on Area (m²)	Insulation
All dwellings	framed - metal roof, frame: timber - untreated softwood	434	Ceiling:fibreglass batts or roll,Roof: foil/ sarking	-	-		Ceiling:,Ro	of:	framed - metal roof, frame: timbe - untreated softwood	190	Ceiling:fibregla batts or roll,Roof: foil/ sarking

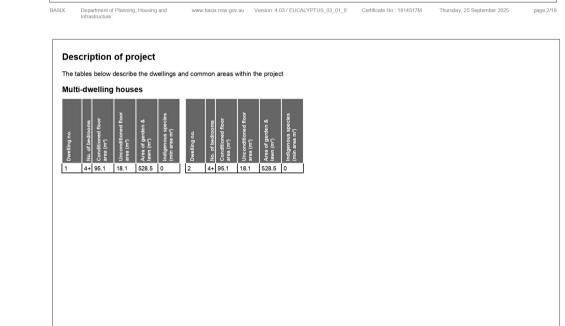
							T
(i) Water					Show on DA plans	Show on CC/CDC plans & specs	Certifie check
	out the development, the applicate eet the specifications listed for it i		or clothes washer into a common area,	then that		~	~
	systems" column of the table belo		ernative water supply system(s) specified be sized, be configured, and be connecte		~	~	~
(c) A swimming table.	pool or spa listed in the table mus	st not have a volume (in kLs) greate	er than that specified for the pool or spa in	n the	~	~	
(d) A pool or spa	a listed in the table must have a c	over or shading if specified for the p	pool or spa in the table.			~	
(e) The applicar	t must install each fire sprinkler s	ystem listed in the table so that the	system is configured as specified in the	table.		~	-
(f) The applican	t must ensure that the central coo	ling system for a cooling tower is co	onfigured as specified in the table.			~	~
Common area	Showerheads rating	Toilets rating	Taps rating	Cloth	nes washers	s rating	
All common areas	no common facility	no common facility	no common facility	no cor	mmon laund	ry facility	
(ii) Energy					Show on DA plans	Show on CC/CDC plans & specs	Certifie check
			ervice a common area specified in the tal and must meet the efficiency measure sp			~	-
(b) In carrying o	below, the lighting specified for the	at common area. This lighting must	f artificial lighting" for each common area meet the efficiency measure specified. T gement System (BMS) for the common a	he		~	~
in the table b							

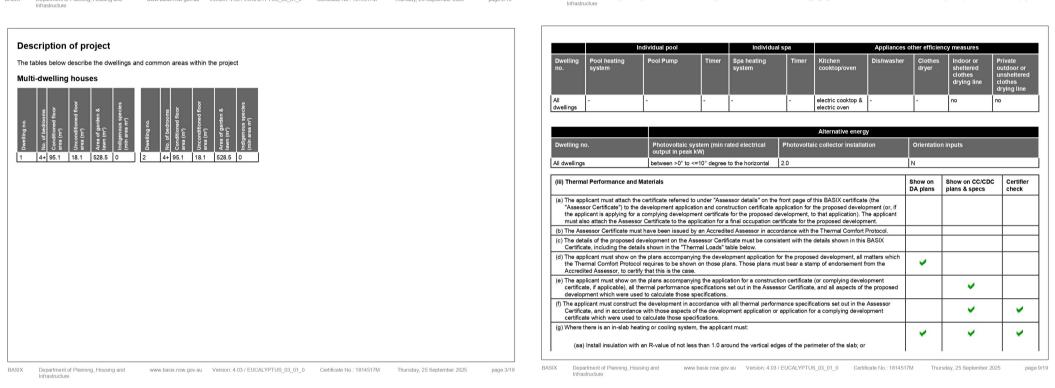
Description	of project			
Project address		Common area landscape		
Project name	6 Pruella Street Menindee- MULTI	Common area lawn (m²)	0	
Street address	6 PRUELLA STREET MENINDEE 2879	Common area garden (m²)	0	
Local Government Area	CENTRAL DARLING	Area of indigenous or low water use	0	
Plan type and plan number	Deposited Plan 806399	species (m²)		
Lot No.	9	Assessor details and therm	ial loads	
Section no.	-	Assessor number	DMN/24/2200	
Project type		Certificate number	#HR-6DQ83D-01	
No. of residential flat buildings	0	Climate zone	46	
Residential flat buildings: no. of dwellings	0	Project score		
Multi-dwelling housing: no. of dwellings	2	Water	v 0	Target 0
No. of single dwelling houses	0	Thermal Performance	✓ Pass	Target Pass
Site details		<u></u>		
Site area (m²)	1607.22	Energy	✓ 100	Target 68
Roof area (m²)	434	Materials	.4 .45	Township!
Non-residential floor area (m²)	-	Tracerials	✓ -45	Target n/a
Residential car spaces	4		•	
Non-residential car spaces	-			

	1					Show on DA plans	Show on CC/o	
the tab		extent specified for tha		to in a heading to the "Natura dicant must ensure that each		~	~	~
(g) This co	mmitment applies if the a	pplicant installs a water	er heating system for the	dwelling's pool or spa. The a	pplicant must:			
(aa				of the table below (or alternat r, to control the pool's pump; a			~	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.							~	
(h) The ap	plicant must install in the	dwelling:						
(aa) the kitchen cook-top and table below;	d oven specified for the	at dwelling in the "Applia	nces & other efficiency measu	res" column of the		~	
(bb			or that dwelling in the "A	appliances & other efficiency n	neasures" column of			
		-,,			***			
(cc)) any clothes drying line s	pecified for the dwelling	g in the "Appliances & o	ther efficiency measures" colu	imn of the table.		-	
(i) If specif	ied in the table, the appli	cant must carry out the	development so that ea	ch refrigerator space in the dy	velling is "well		-	
ventilat		can must carry out the	development so that ea	terriengerator space in the di	veiling is well		~	
				ler the "Photovoltaic system" h dwelling's electrical system.	eading of the	~	-	•
	Hot water	Bathroom	entilation system	Kitchen vent	llation system	L	aundry ventilati	on system
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laur	ndry O	peration control
	electric storage	individual fan, ducted to façade or roof	manual switch on/o	ff individual fan, ducted to façade or roof	manual switch on/off	natural ver only, or no		
					eating		Natural	lighting
		Cooling		н	eating			
dwellings	no. living areas		oom areas	H living areas	bedroom areas		o. of bathrooms toilets	Main kitchen
All dwellings Dwelling n		bedr ditioning - no inc	oom areas ividual system					Main kitchen







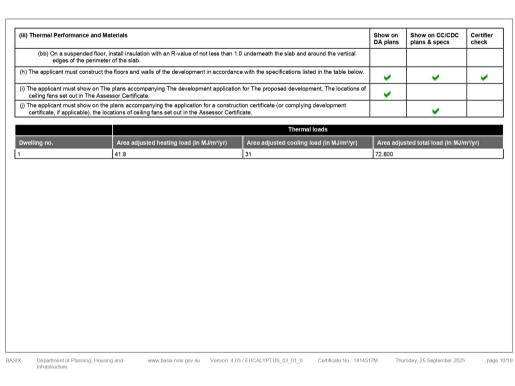


) Dwellings			
i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
 c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. 		~	~
d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	-
a) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		~	~
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	~
 e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. 	~	~	
f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
g) The pool or spa must be located as specified in the table.	~	~	
h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~
i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	~	~	~
c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		· ·	

6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.	1. In these commitments, "applicant" means the person carrying out the development.	
and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes. 4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building). 5. If a star or other rating is specified in a commitment, this is a minimum rating. 6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply. egend 1. Commitments identified with a "*" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). 2. Commitments identified with a "*" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "*" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate development in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate development.	specifications accompanying the application for a construction certificate / complying development certificate, for the proposed developmen	
system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building). 6. All atternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply. egend 1. Commitments identified with a "*" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). 2. Commitments identified with a "*" in the "Show on CCICDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "*" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate in the certificate in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment	and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the develop	
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply. egend 1. Commitments identified with a "*" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). 2. Commitments identified with a "*" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "*" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate feither interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment		ding within the development, then that
NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply. 1. Commitments identified with a "V" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). 2. Commitments identified with a "V" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "V" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue and occupation certificate in their interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment	5. If a star or other rating is specified in a commitment, this is a minimum rating.	
1. Commitments identified with a "" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development). 2. Commitments identified with a "" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "V" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment	NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consum	
development application is to be lodged for the proposed development). 2. Commitments identified with a "" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment	Legend	
development application is to be lodged for the proposed development). 2. Commitments identified with a "" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. 3. Commitments identified with a "" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment		
certificate / complying development certificate for the proposed development. 3. Commitments identified with a "*" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building itset in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment		tion for the proposed development (if a
occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment		mpanying the application for a construction
	occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied tha	a certifying authority must not issue an t each of the commitments whose fulfilment

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(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifie
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If the cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		~	~
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light entiting diode (LED) lighting, if the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light entitling diode (LED) lighting.		~	•
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	~	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		~	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		~	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		•	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~	-
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		~	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		~	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	~	~	~
(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application, The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, infor at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Sectorom areas", then no systems be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/hight zoning between living areas and bedrooms.		~
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting clode (LED) lighting.		~
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:		
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		~
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		~
(h) The applicant must install in the dwelling:		
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		~
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		~
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		~
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	~	~
(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		

he commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development evelopment certificate issued, for the proposed development, that BASIX commitments be complied with.	nent consent	granted, or complyir	ng
. Commitments for multi-dwelling housing			
n) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		~	~
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	-
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
(g) The pool or spa must be located as specified in the table.	>	~	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as expecified.	~	~	~

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					NV 100		Thermal loads					
Dwelling no.			adjusted heat	ing load (in MJ/m					Area adjuste	d total load (in MJ/m²/yr)	
All other dwelli	ngs	38.6				35.9			74.500			
						Construction o	f floors and wal	s				
Dwelling no.							Suspended floor above garage (m²)		Primarily mudbricl	Primarily rammed earth or mudbrick walls		
All dwellings	100		-			-		-		no		
	Floor types											
		Cond	rete slab on g	round	ound Suspended floo		or above enclosed subfloor		Suspended floor abov		ve open subfloor	
Dwelling no.	Area (m²)	Insulation	Low emissio option	Demateria ns	alisation	Construction type	Area (m²)	Insulation	Construction type	Area (m	²) Insulation	
All dwellings	100	-		convention	al slab	-	- -		-	-	-	
	Floor types											
		oor above ha	pove habitable Suspended floor at			oove garage	Garage floor					
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m	nsulation	Construction type	Area (m²)	Insulation	Low emissions option	Dematerialisatio	
All dwellings	particle board, frame: timber - untreated softwood	76	-	-	-	-	concrete slab on ground	19.6		none	conventional slab	
	External	walls										
			Extern	al wall type 1				E	xternal wall typ	e 2		
Dwelling no.	Wall type	e /	Area (m²)	Insulation		w emissions tion	Wall type	Area (m²)	Insul	ation	Low emissions option	
All dwellings	brick vene frame : tin		75	fibreglass bat	ts or -		-	-	-		-	

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	~		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		~	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	~	~	-
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	~	~	_
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	~		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		~	

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PETER PERRAS - DIRECTOR - Mobile 0414 507 259

Registered Design Practitioner Body Corporate DEP0003999 Registered Design Practitioner DEP0001985 (All Classes) Accredited BDA Aust 6639 M.BDAA 7488.21



JOB	DESCRIPT
	SED ATTACHED OCCUPANCY
	AT

JOB DESCRIPTION	DRAWING TITLE	GENERAL NOTES
PROPOSED ATTACHED DUAL OCCUPANCY	BASIX CERTIFICATE	DO NOT SCALE THE DRAWINGS, READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTES ON ALL PLANS AND CONSENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE, TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.
AT	CLIENT DETAILS	- COPYRIGHT - THESE DRAWINGS REMAIN THE PROPERTY OF PETER PERRAS, DIRECTOR OF PERRAS DESIGN GROUP PTY LTD,
6 PRUELLA STREET, MEININDEE	MATTHEW HARTNEY, MICHAEL	ABN 35 614 757 550 AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

ABDO

	DRAWN	M.N	REV.NO.	AMENDMENT	BY	DATE
VN.	DATE	OCT.35	Α	DA COUNCIL SUBMISSION	P.P	OCT.2
	CHECKED	P.PERRAS				
S Ant Due	SCALE	Al				
·,	JOB NUMBER	2510				
CED	NUMBER IN SET	8				
	ISSUE	Α				